

PROPOSED ATTACHED DUAL OCCUPANCY WITH POOL AT 5 SEWELL AVENUE, PADSTOW HEIGHTS

BAL-29

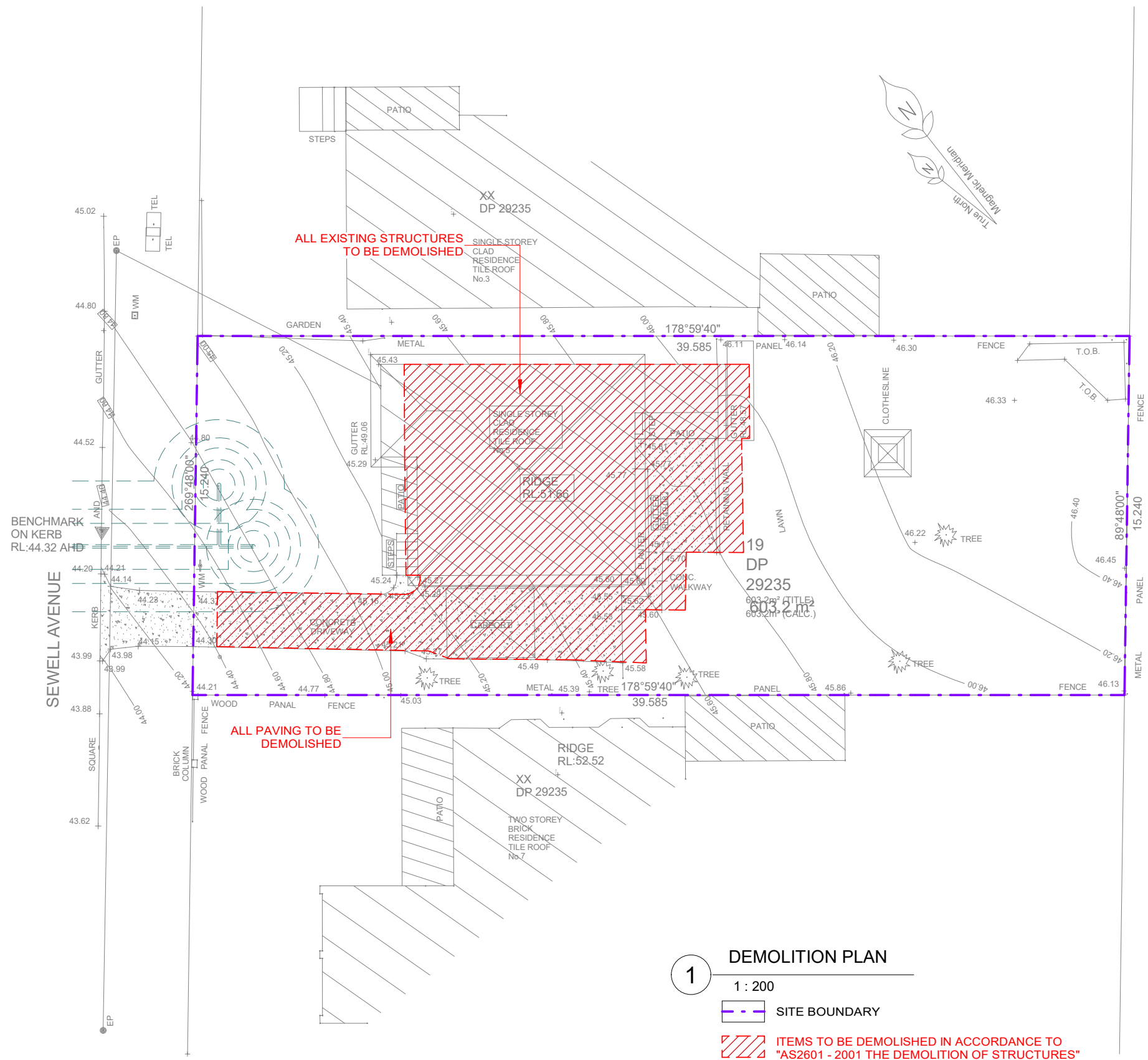
DRAWING LIST	
Sheet Number	Sheet Name
A00	COVER SHEET
A01.01	DEMOLITION PLAN
A01.02	SUBDIVISION PLAN
A01.03	SITE PLAN & ROOF PLAN, SITE ANALYSIS PLAN
A01.04	WASTE MANAGEMENT PLAN & SEDIMENT & EROSION CONTROL PLAN
A01.05	LANDSCAPING PLAN
A01.06	SITE CALCULATIONS
A02	PROPOSED GROUND FLOOR PLAN
A03	PROPOSED FIRST FLOOR PLAN
A04	ELEVATIONS - PART 1
A05	ELEVATIONS - PART 2
A06	SECTION 1
A07	POOL SECTION
A08	3D_GROUND FLOOR
A09	3D_FIRST FLOOR
A10	3D_MODEL
A11	3D_MODEL
A12	WINDOWS & DOOR SCHEDULE
A13	SCHEDULE OF FINISHES
A14	STREETSCAPE VIEW & FRONT FENCE ELEVATION
A15.01	SHADOW DIAGRAM - 21ST JUN
A15.02	SHADOW DIAGRAM - 21ST JUN
A15.03	3 HOURS OF SUNLIGHT TO LIVING - 21ST JUN
A15.04	3 HOURS OF SUNLIGHT TO 50% POS - 20TH MAR EQUINOX
A16	BAL REQUIREMENTS
A17.01	BASIX REQUIREMENTS - DW1
A17.02	BASIX REQUIREMENTS - DW2
A18	NOTIFICATION PLANS



ISSUED FOR S4.55

				COPYRIGHT All rights reserved. These drawings, plans and specifications and the copyright are the property of Nemco Design and must not be used, reproduced or copied wholly or in part without the written permission of Nemco Design.	 NEMCO DESIGN PTY LTD STRUCTURAL ENGINEERING & ARCHITECTURAL DESIGN	ADDRESS: SUITE 4, LEVEL 1, 402-410 CHAPEL RD, BANKSTOWN, NSW 2200 P: 9709 5556 M: 0422 606 228 E: abraham@nemcodesign.com.au	PROPOSED ATTACHED DUAL OCCUPANCY WITH POOL 5 SEWELL AVE, PADSTOW HEIGHTS LOT 19, DP 29235 COVER SHEET	JOB NUMBER: 23678	DWG NUMBER: A00	ORIGINAL SIZE: A3	
B	18.12.2025	ISSUED FOR SECTION 4.55						DESIGNED BY: A.N.	DATE: 07.02.2024		
A	26.02.2024	ISSUED FOR DA						DK	DRAWN BY: A.N.		SCALE: AS SHOWN
REV	DATE	DESCRIPTION						BY			

12/01/2026 11:51:51 AM



ISSUED FOR S4.55

REV	DATE	DESCRIPTION	BY
B	18.12.2025	ISSUED FOR SECTION 4.55	
A	26.02.2024	ISSUED FOR DA	DK

COPYRIGHT
All rights reserved.
These drawings, plans and specifications and the copyright are the property of Nemco Design and must not be used, reproduced or copied wholly or in part without the written permission of Nemco Design.



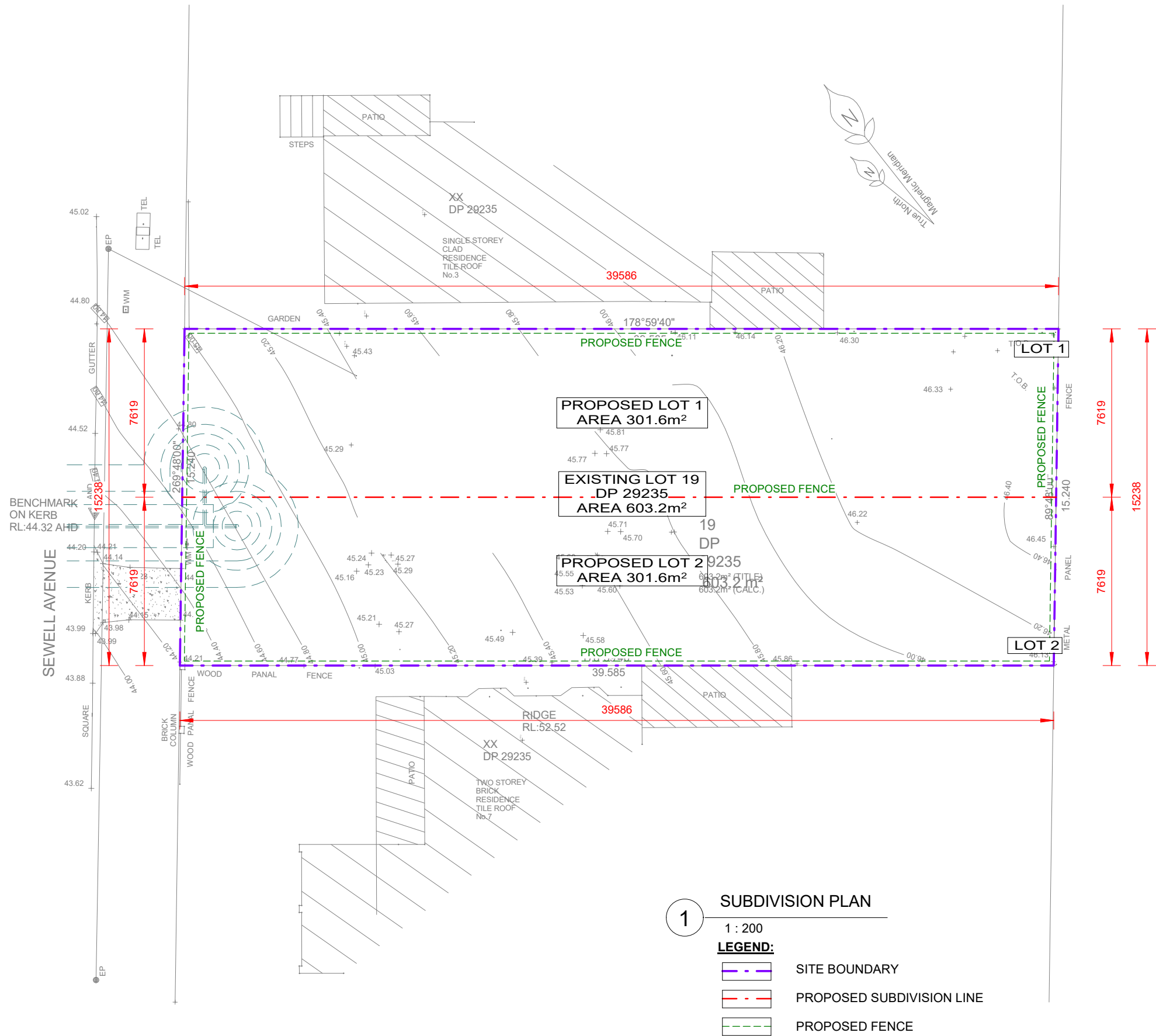
STRUCTURAL ENGINEERING
& ARCHITECTURAL DESIGN

ADDRESS:
SUITE 4, LEVEL 1,
402-410 CHAPEL RD, BANKSTOWN,
NSW 2200
P: 9709 5555 M: 0422 606 228
E: abraham@nemcodesign.com.au

**PROPOSED ATTACHED DUAL OCCUPANCY
WITH POOL
5 SEWELL AVE, PADSTOW HEIGHTS
LOT 19, DP 29235**

DEMOLITION PLAN

JOB NUMBER: 23678	DWG NUMBER: A01.01	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 07.02.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	



1 SUBDIVISION PLAN
1 : 200

LEGEND:

- SITE BOUNDARY
- PROPOSED SUBDIVISION LINE
- PROPOSED FENCE

0 2 4 6 8m
1:200
ISSUED FOR S4.55

REV	DATE	DESCRIPTION	BY
B	18.12.2025	ISSUED FOR SECTION 4.55	
A	26.02.2024	ISSUED FOR DA	DK

COPYRIGHT
All rights reserved.
These drawings, plans and specifications
and the copyright are the property of
Nemco Design and must not be used,
reproduced or copied wholly or in part
without the written permission of Nemco
Design.

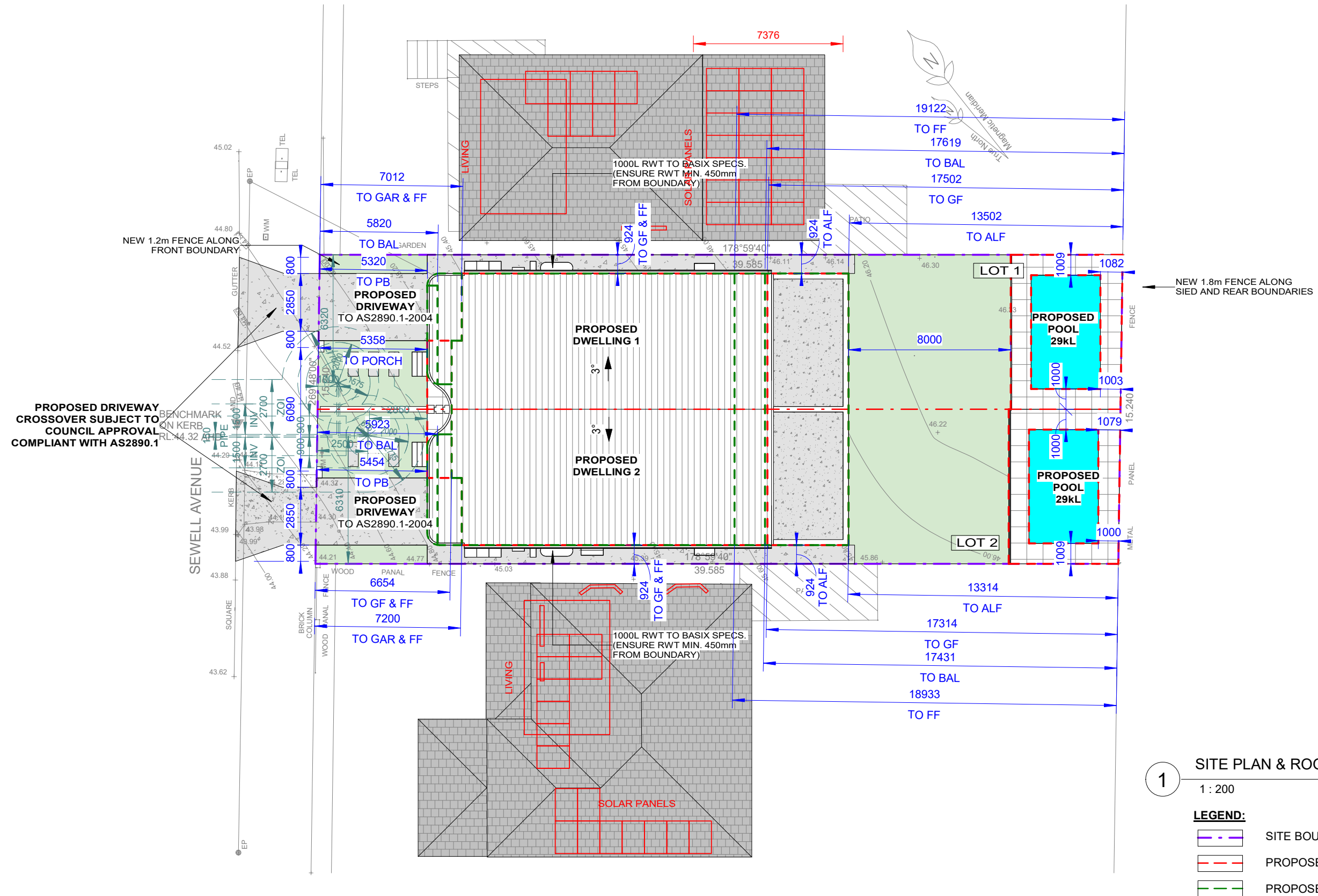
NEMCO DESIGN
PTY LTD
STRUCTURAL ENGINEERING
& ARCHITECTURAL DESIGN

ADDRESS:
SUITE 4, LEVEL 1,
402-410 CHAPEL RD, BANKSTOWN,
NSW 2200
P: 9709 5555 M: 0422 606 228
E: abraham@nemcodesign.com.au

**PROPOSED ATTACHED DUAL OCCUPANCY
WITH POOL
5 SEWELL AVE, PADSTOW HEIGHTS
LOT 19, DP 29235**

SUBDIVISION PLAN

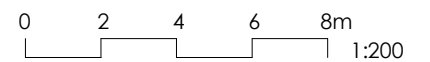
JOB NUMBER: 23678	DWG NUMBER: A01.02	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 07.02.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	



1 SITE PLAN & ROOF PLAN, SITE ANALYSIS PLAN
1 : 200

LEGEND:

- 
- SITE BOUNDARY
 PROPOSED GROUND FLOOR OUTLINE
 PROPOSED FIRST FLOOR OUTLINE



ISSUED FOR \$4.55

B	18.12.2025	ISSUED FOR SECTION 4.55	
A	26.02.2024	ISSUED FOR DA	DK
REV	DATE	DESCRIPTION	BY

COPYRIGHT
All rights reserved.
These drawings, plans and specifications
and the copyright are the property of
Nemco Design and must not be used,
reproduced or copied wholly or in part
without the written permission of Nemco
Design.



ADDRESS:
SUITE 4, LEVEL 1,
402-410 CHAPEL RD, BANKSTOWN
NSW 2200
P: 9709 5556 M: 0422 606 228
E: abraham@nemcodesign.com.au

WN, 28 BU	PROPOSED ATTACHED DUAL OCCUPANCY WITH POOL 5 SEWELL AVE, PADSTOW HEIGHTS LOT 19, DP 29235
	SITE PLAN & ROOF PLAN, SITE ANALYSIS PLAN

JOB NUMBER: 23678	DWG NUMBER: A01.03	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 07.02.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	

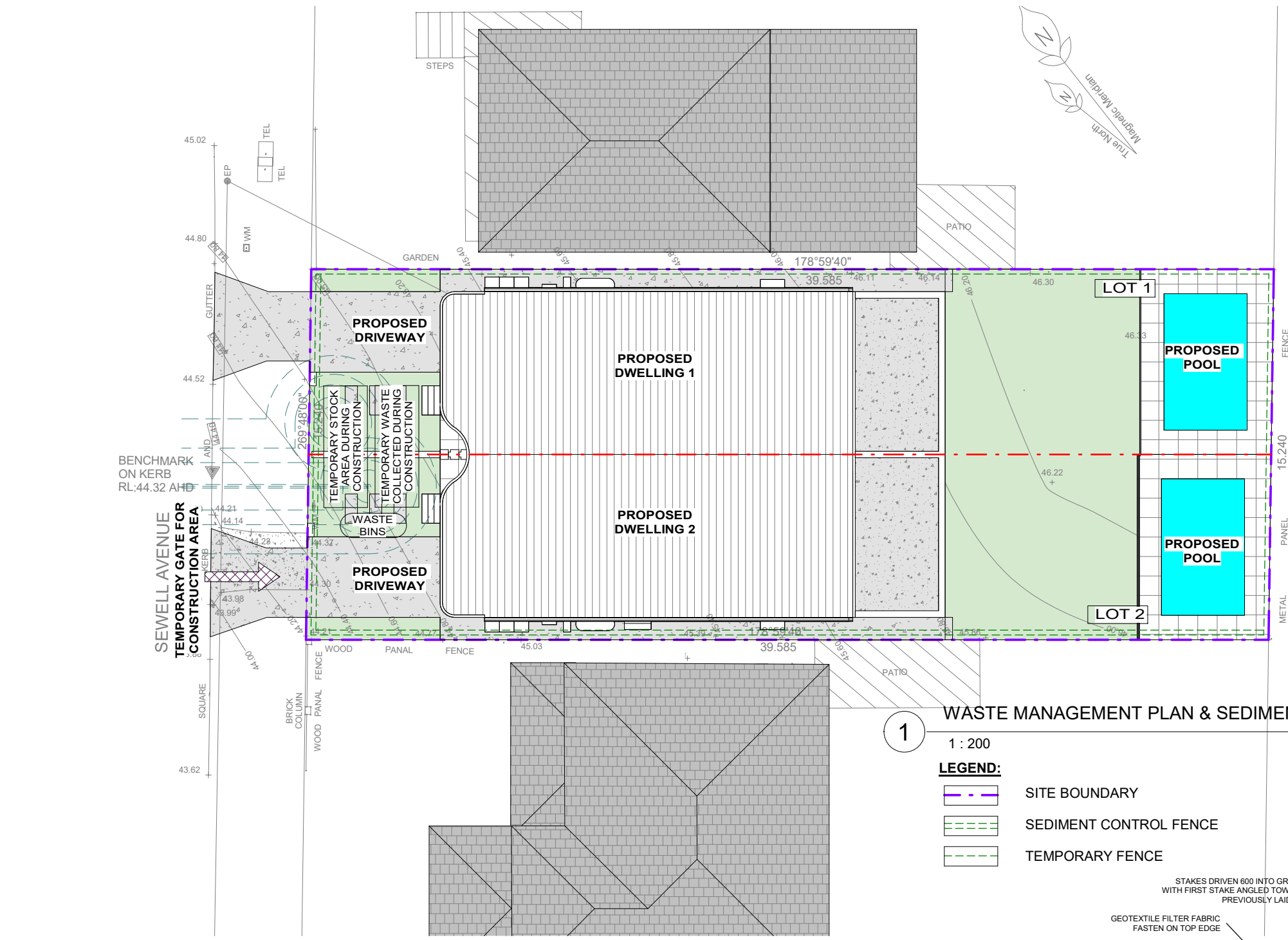
DA CONDITION

3. ASSET PROTECTION ZONES

AT THE COMMENCEMENT OF BUILDING WORKS OR THE ISSUE OF A SUBDIVISION CERTIFICATE, WHICHEVER COMES FIRST, THE ENTIRE SITE MUST BE MAINTAINED AS AN INNER PROTECTION AREA IN ACCORDANCE WITH THE REQUIREMENTS OF APPENDIX 4 OF PLANNING FOR BUSH FIRE PROTECTION 2019.

WHEN ESTABLISHING AND MAINTAINING AN INNER PROTECTION AREA, THE FOLLOWING REQUIREMENTS APPLY:

- TREE CANOPY COVER SHOULD BE LESS THAN 15% AT MATURITY;
- TREES AT MATURITY SHOULD NOT TOUCH OR OVERHANG THE BUILDING;
- LOWER LIMBS SHOULD BE REMOVED UP TO A HEIGHT OF 2m ABOVE THE GROUND;
- TREE CANOPIES SHOULD BE SEPARATED BY 2 TO 5M;
- PREFERENCE SHOULD BE GIVEN TO SMOOTH-BARKED AND EVERGREEN TREES;
- LARGE DISCONTINUITIES OR GAPS IN THE SHRUBS LAYER SHOULD BE PROVIDED TO SLOW DOWN OR BREAK THE PROGRESS OF FIRE TOWARDS BUILDINGS;
- SHRUBS SHOULD NOT BE LOCATED UNDER TREES;
- SHRUBS SHOULD NOT FORM MORE THAN 10% GROUND COVER;
- CLUMPS OF SHRUBS SHOULD BE SEPARATED FROM EXPOSED WINDOWS AND DOORS BY A DISTANCE OF AT LEAST TWICE THE HEIGHT OF THE VEGETATION;
- GRASS SHOULD BE KEPT MOWN (AS A GUIDE, GRASS SHOULD BE KEPT TO NO MORE THAN 100mm IN HEIGHT); AND
- LEAVES AND VEGETATION DEBRIS SHOULD BE REMOVED REGULARLY.

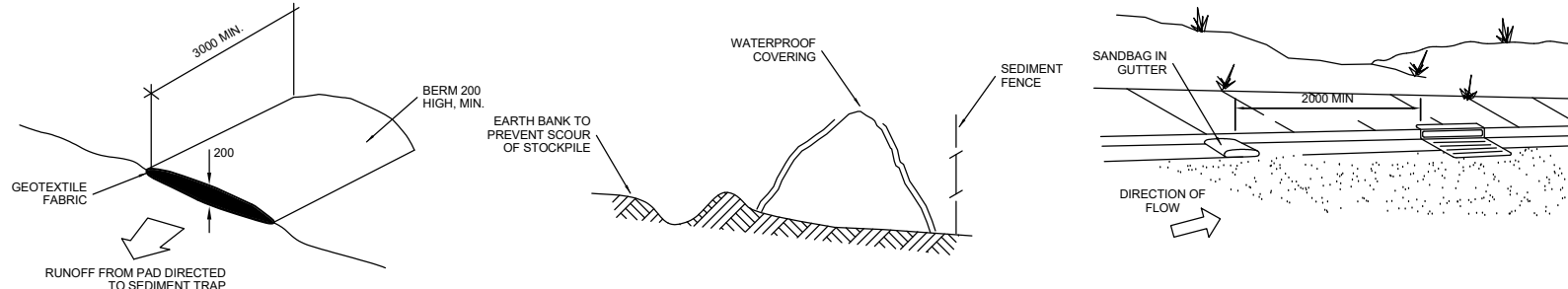


WASTE MANAGEMENT PLAN & SEDIMENT & EROSION CONTROL PLAN

1 : 200

LEGEND:

- 



VEHICLE ACCESS TO SITE

NTS

VEHICLE ACCESS TO THE BUILDING SITE SHOULD BE RESTRICTED TO A SINGLE POINT SO AS TO REDUCE THE AMOUNT OF SOIL DEPOSITED ON THE STREET PAVEMENT.

BUILDING MATERIAL STOCKPILES

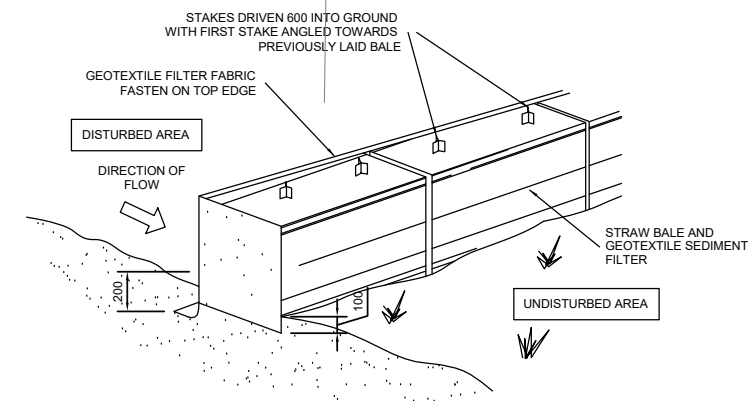
N.T.S

ALL STOCKPILES OF BUILDING MATERIAL SUCH AS SAND AND SOIL MUST BE PROTECTED TO PREVENT SCOUR AND EROSION.

THEY SHOULD NEVER BE PLACED IN THE STREET GUTTER WHERE THEY WILL WASH AWAY WITH THE FIRST RAINSTORM.

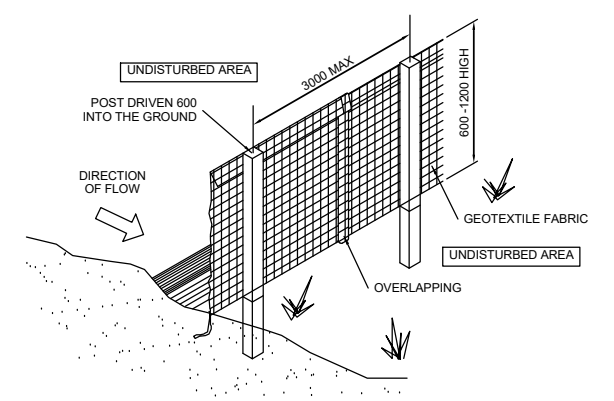
SANDBAG KERB SEDIMENT TRAP

N.T.S
IN CERTAIN CIRCUMSTANCES EXTRA SEDIMENT TRAPPING
MAY BE NEEDED IN THE STREET GUTTER.



STRAW BALE DETAIL

N.T.S



SEDIMENT AND EROSION FENCE DETAIL

N.T.S

0 2 4 6 8m 1:200

ISSUED FOR \$4.55

B	18.12.2025	ISSUED FOR SECTION 4.55	
A	26.02.2024	ISSUED FOR DA	DK
REV	DATE	DESCRIPTION	BY

COPYRIGHT
All rights reserved.
These drawings, plans and specifications
and the copyright are the property of
Nemco Design and must not be used,
reproduced or copied wholly or in part
without the written permission of Nemco
Design.



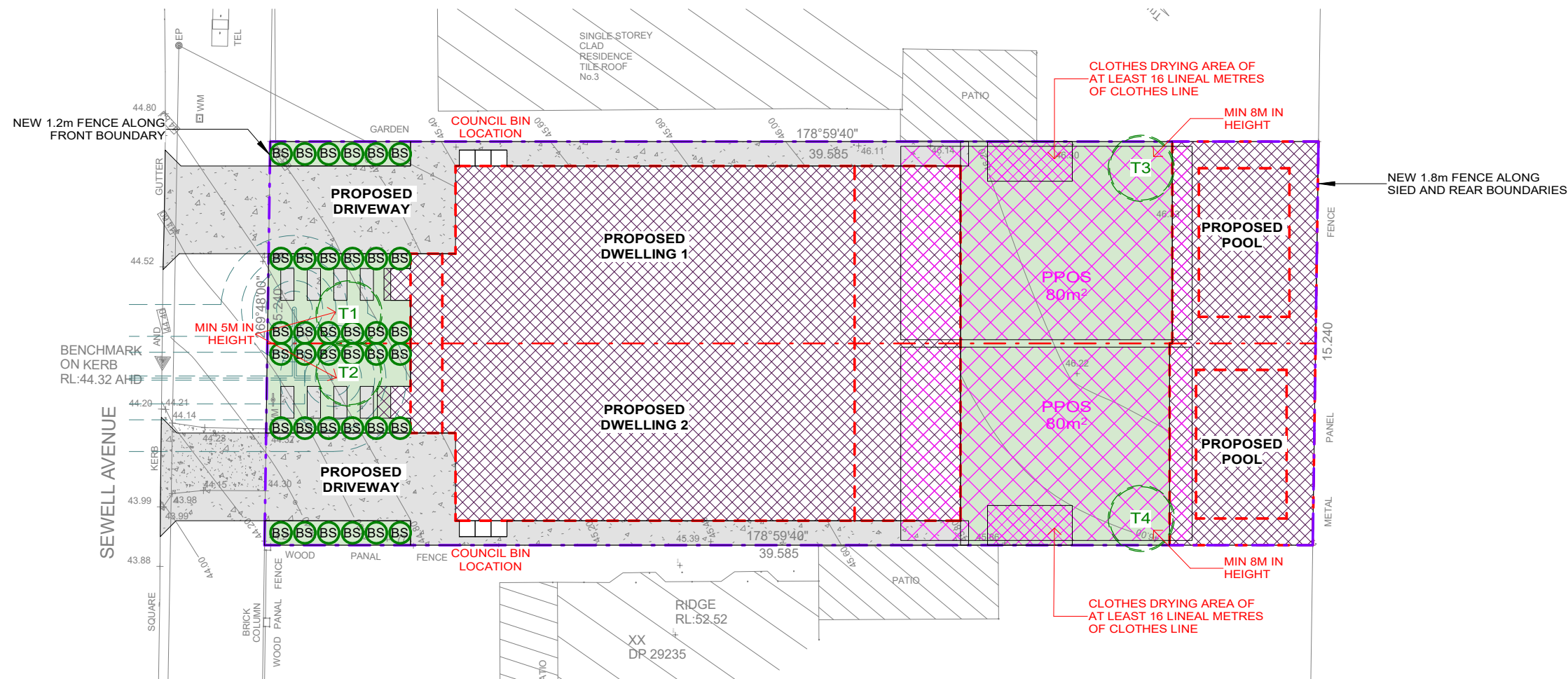
STRUCTURAL ENGINEERING
& ARCHITECTURAL DESIGN

ADDRESS:
SUITE 4, LEVEL 1,
402-410 CHAPEL RD, BANKSTOWN
NSW 2200
P: 9709 5556 M: 0422 606 228
E: abraham@nemcodesign.com.au

**PROPOSED ATTACHED DUAL OCCUPANCY
WITH POOL
5 SEWELL AVE, PADSTOW HEIGHTS
LOT 19, DP 29235**

**WASTE MANAGEMENT PLAN & SEDIMENT
& EROSION CONTROL PLAN**

JOB NUMBER: 23678	DWG NUMBER: A01.04	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 07.02.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	

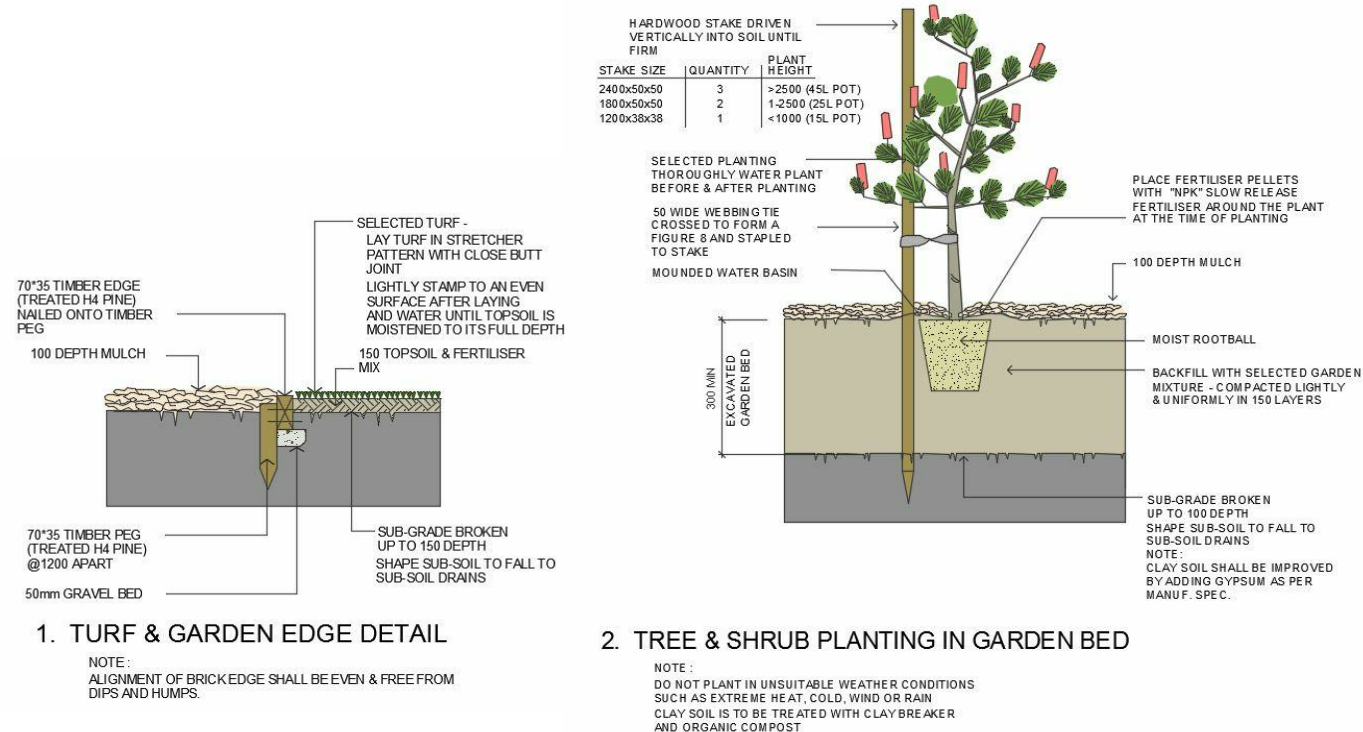


LANDSCAPE MAINTENANCE SCHEDULE

Task	MONTH	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
CARE OF PLANTS													
Monitoring													
Pruning (if needed)													
Deadhead plants													
Fertilization													
Cut back perennials & grasses													
Watering - as needed													
PLANTING BEDS													
Edging													
Weeding - as needed													
Mulching													
Soil testing													
Leaf Removal (if needed)													
PEST MANAGEMENT													
Monitoring													
LAWNS													
Fertilize/Lime													
Seeding													
WINTER CLEAN UP													
SNOW REMOVAL PLAN													

2. Minimum soil standards for plant sizes are provided in accordance with the Table below.

Tree Size	Height	Spread	Min Soil Area	Min soil depth
Large trees	>12m	>8m	10 x 10m	1200mm
Medium trees	8-12m	4-8m	6 x 6m	1000mm
Small trees	5-8m	<4m	3.5 x 3.5m	800mm
Shrubs	-	-	n/a	500-600mm
Groundcover	-	-	n/a	300-450mm
Turf	-	-	n/a	200mm



DA CONDITION

4. ASSET PROTECTION ZONES

LANDSCAPING WITHIN THE REQUIRED ASSET PROTECTION ZONE MUST COMPLY WITH APPENDIX 4 OF PLANNING FOR BUSH FIRE PROTECTION 2019. IN THIS REGARD, THE FOLLOWING PRINCIPLES ARE TO BE INCORPORATED:

- A MINIMUM 1m WIDE AREA (OR TO THE PROPERTY BOUNDARY WHERE THE SETBACKS ARE LESS THAN 1 METRE), SUITABLE FOR THE PEDESTRIAN TRAFFIC MUST BE PROVIDED AROUND THE IMMEDIATE CURTILAGE OF THE BUILDING;
- PLANTING IS LIMITED IN THE IMMEDIATE VICINITY OF THE BUILDING;
- PLANTING DOES NOT PROVIDE A CONTINUOUS CANOPY TO THE BUILDING (I.E. TREES OR SHRUBS ARE ISOLATED OR LOCATED IN SMALL CLUSTERS);
- LANDSCAPE SPECIES ARE CHOSEN TO ENSURE TREE CANOPY COVER IS LESS THAN 15% (IPA), AND LESS THAN 30% (OPA) AT MATURITY AND TREES DO NOT TOUCH OR OVERHANG BUILDINGS;
- AVOID SPECIES WITH ROUGH FIBROUS BARK, OR WHICH RETAIN/SHED BARK IN LONG STIPS OR RETAIN DEAD MATERIAL IN THEIR CANOPIES;
- USE SMOOTH BARK SPECIES OF TREES SPECIES WHICH GENERALLY DO NOT CARRY A FIRE UP THE BARK INTO THE CROWN;
- AVOID PLANTING OF THE DECIDUOUS SPECIES THAT MAY INCREASE FUEL AT SURFACE/GROUND LEVEL (I.E. LEAF LITTER);
- AVOID CLIMBING SPECIES TO WALLS AND PERGOLAS;
- LOCATE COMBUSTIBLE STRUCTURES SUCH AS GARDEN SHEDS, PERGOLAS AND MATERIALS SUCH AS TIMBER GARDEN FURNITURE AWAY FROM THE BUILDING; AND
- LOW FLAMMABILITY VEGETABLE SPECIES ARE USED.

LEGEND:

	SITE BOUNDARY
	PROPOSED DWELLING
	PROPOSED CONCRETE AREAS
	PROPOSED LANDSCAPING
	PPOS 80m ²

BS	PROPOSED SHRUB <i>Bursaria Spinosa (Blacktorn)</i> 1m
T1-2	PROPOSED TREE <i>ACACIA BINERVIA (Myall Wattle)</i> 5m SIZE: MIN. 75 LTR
T3-4	PROPOSED TREE <i>ACACIA BINERVIA (Myall Wattle)</i> 8m SIZE: MIN. 75 LTR

NOTES:
MIN 50% OF THE OVERALL NUMBER OF TREES & SHRUBS SHOULD BE NATIVE TO THIS REGION

1 LANDSCAPING PLAN

1 : 200

0 2 4 6 8m 1:200

ISSUED FOR S4.55

REV	DATE	DESCRIPTION	BY
B	18.12.2025	ISSUED FOR SECTION 4.55	
A	26.02.2024	ISSUED FOR DA	DK

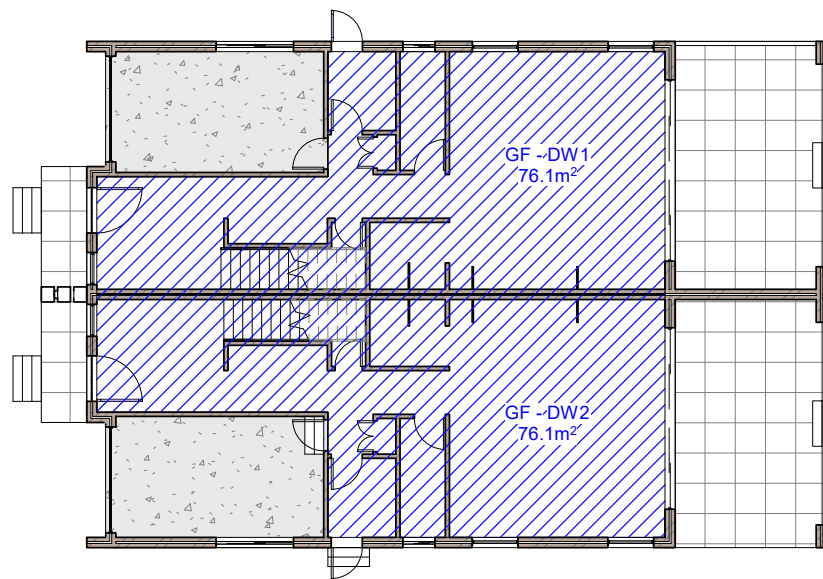
COPYRIGHT
All rights reserved.
These drawings, plans and specifications and the copyright are the property of Nemco Design and must not be used, reproduced or copied wholly or in part without the written permission of Nemco Design.

NEMCO DESIGN
PTY LTD
STRUCTURAL ENGINEERING & ARCHITECTURAL DESIGN
ADDRESS: SUITE 4, LEVEL 1, 402-410 CHAPEL RD, BANKSTOWN, NSW 2200
P: 9709 5555 M: 0422 606 228 E: abraham@nemcodesign.com.au

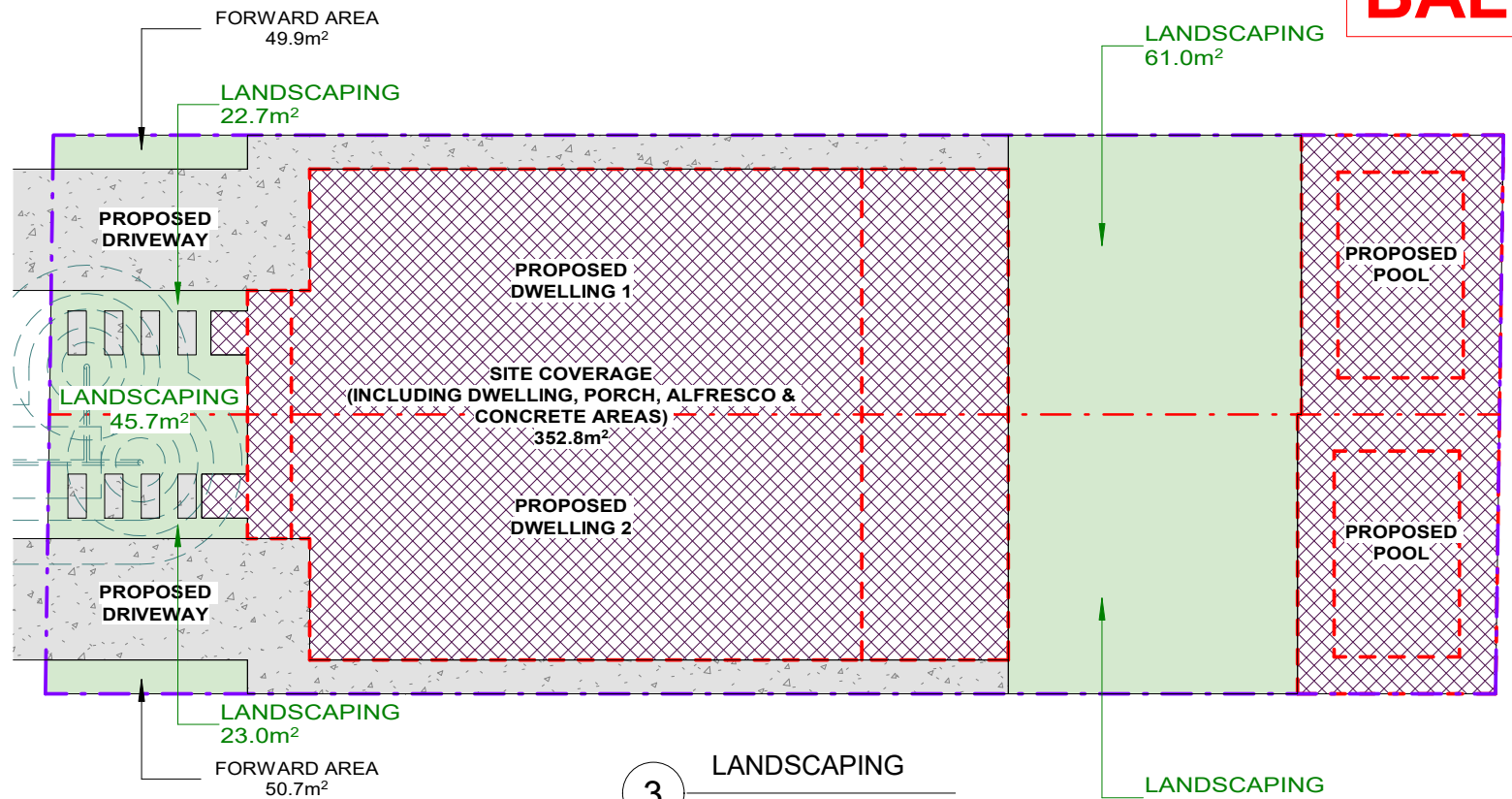
PROPOSED ATTACHED DUAL OCCUPANCY WITH POOL
5 SEWELL AVE, PADSTOW HEIGHTS LOT 19, DP 29235

LANDSCAPING PLAN

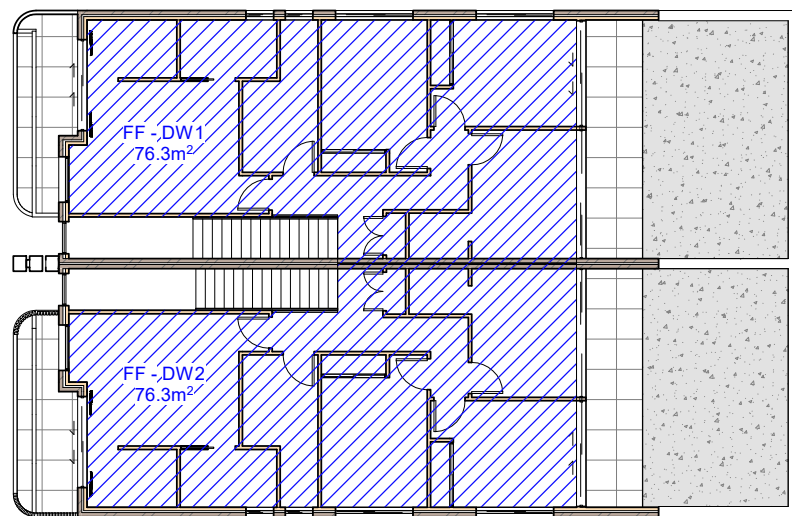
JOB NUMBER: 23678	DWG NUMBER: A01.05	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 07.02.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	



1 FSR - Ground Floor
1 : 200



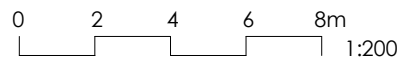
3 LANDSCAPING
1 : 200



2 FSR - First Floor
1 : 200

SITE CALCULATIONS FOR LOT 1			
FLOOR AREA CALCULATIONS			
SITE AREA:	301.6m ²		
AREA OF THE PROPOSED GROUND FLOOR:	76.1m ²		
AREA OF THE PROPOSED FIRST FLOOR:	74.7m ²		
MAX. TOTAL FLOOR AREA	150.8m ²		
50% OF SITE AREA = 0.5 x 301.6m ² =			
PROPOSED TOTAL FLOOR AREA:	150.8m ²	>	150.8m ²
SITE COVERAGE CALCULATIONS			
PROPOSED SITE COVERAGE:	176.4m ²	(58.5%)	
(INC. DWELLING, PORCH, ALFRESCO)			
LANDSCAPING CALCULATIONS			
MIN. LANDSC. FORWARD OF BUILDING LINE:	22.5m ²		
45% OF THE FORWARD AREA = 0.45 x 49.9m ²			
PROPOSED LANDSCAPING AT FRONT:	22.7m ²	>	22.5m ²
PROPOSED LANDSCAPING AT REAR:	61.0m ²		
PROPOSED TOTAL LANDSCAPED AREA:	83.7m ²	(27.8%)	

SITE CALCULATIONS FOR LOT 2			
FLOOR AREA CALCULATIONS			
SITE AREA:	301.6m ²		
AREA OF THE PROPOSED GROUND FLOOR:	76.1m ²		
AREA OF THE PROPOSED FIRST FLOOR:	74.7m ²		
MAX. TOTAL FLOOR AREA	150.8m ²		
50% OF SITE AREA = 0.5 x 301.6m ² =			
PROPOSED TOTAL FLOOR AREA:	150.8m ²	>	150.8m ²
SITE COVERAGE CALCULATIONS			
PROPOSED SITE COVERAGE:	176.4m ²	(58.5%)	
(INC. DWELLING, PORCH, ALFRESCO)			
LANDSCAPING CALCULATIONS			
MIN. LANDSC. FORWARD OF BUILDING LINE:	22.8m ²		
45% OF THE FORWARD AREA = 0.45 x 50.7m ²			
PROPOSED LANDSCAPING AT FRONT:	23.0m ²	>	22.8m ²
PROPOSED LANDSCAPING AT REAR:	60.1m ²		
PROPOSED TOTAL LANDSCAPED AREA:	83.1m ²	(27.6%)	



ISSUED FOR S4.55

REV	DATE	DESCRIPTION	BY
B	18.12.2025	ISSUED FOR SECTION 4.55	
A	26.02.2024	ISSUED FOR DA	DK

COPYRIGHT
All rights reserved.
These drawings, plans and specifications
and the copyright are the property of
Nemco Design and must not be used,
reproduced or copied wholly or in part
without the written permission of Nemco
Design.

NEMCO DESIGN
PTY LTD
STRUCTURAL ENGINEERING
& ARCHITECTURAL DESIGN

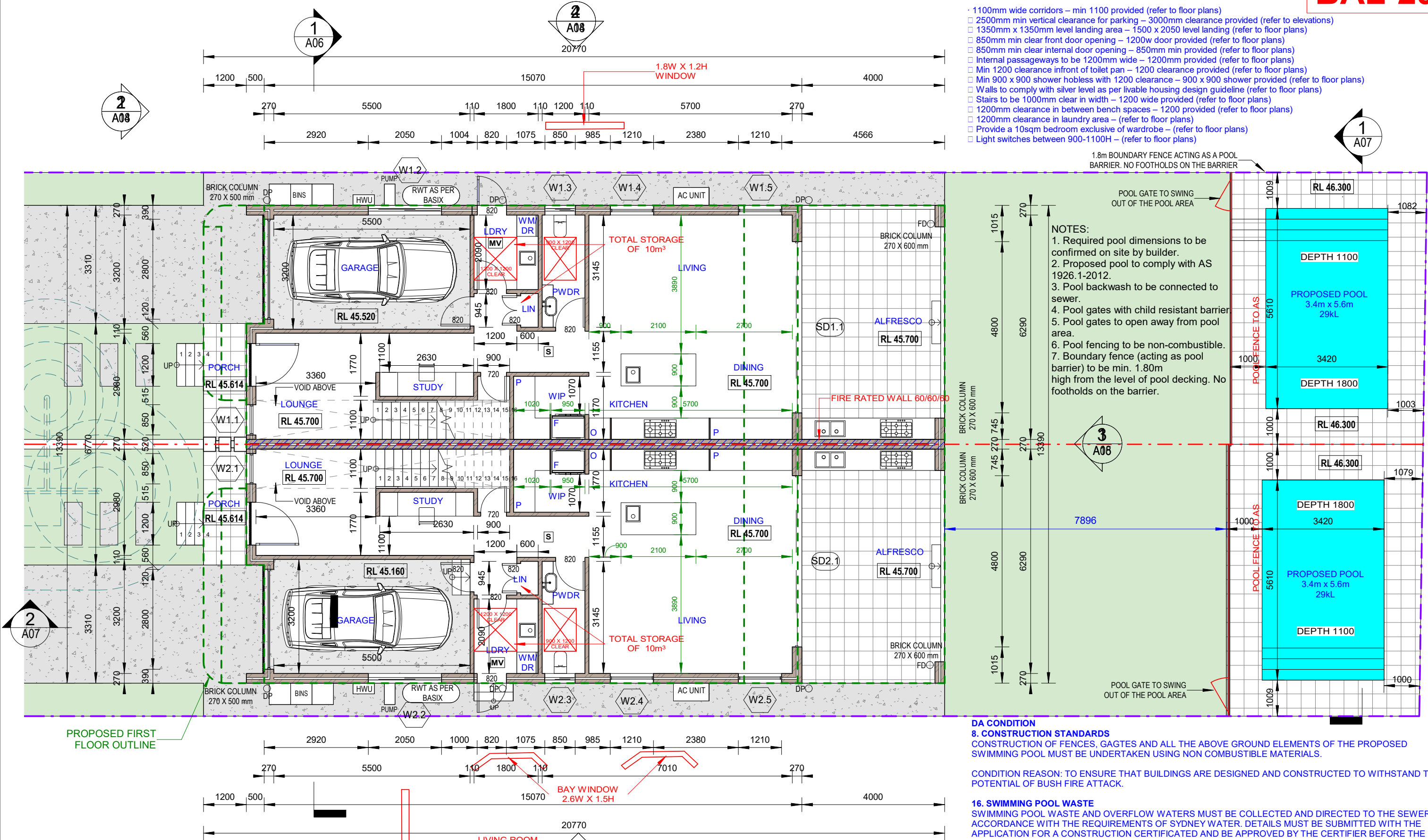
ADDRESS:
SUITE 4, LEVEL 1,
402-410 CHAPEL RD, BANKSTOWN,
NSW 2200
P: 9709 5555 M: 9422 606 228
E: abraham@nemcodesign.com.au

**PROPOSED ATTACHED DUAL OCCUPANCY
WITH POOL
5 SEWELL AVE, PADSTOW HEIGHTS
LOT 19, DP 29235**

SITE CALCULATIONS

JOB NUMBER: 23678	DWG NUMBER: A01.06	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 07.02.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	

- 1100mm wide corridors – min 1100 provided (refer to floor plans)
- 2500mm min vertical clearance for parking – 3000mm clearance provided (refer to elevations)
- 1350mm x 1350mm level landing area – 1500 x 2050 level landing (refer to floor plans)
- 850mm min clear front door opening – 1200w door provided (refer to floor plans)
- 850mm min clear internal door opening – 850mm min provided (refer to floor plans)
- Internal passageways to be 1200mm wide – 1200mm provided (refer to floor plans)
- Min 1200 clearance in front of toilet pan – 1200 clearance provided (refer to floor plans)
- Min 900 x 900 shower hobless with 1200 clearance – 900 x 900 shower provided (refer to floor plans)
- Walls to comply with silver level as per liveable housing design guideline (refer to floor plans)
- Stairs to be 1000mm clear in width – 1200 wide provided (refer to floor plans)
- 1200mm clearance in between bench spaces – 1200 provided (refer to floor plans)
- 1200mm clearance in laundry area – (refer to floor plans)
- Provide a 10sqm bedroom exclusive of wardrobe – (refer to floor plans)
- Light switches between 900-1100H – (refer to floor plans)



- NOTES:
- Required pool dimensions to be confirmed on site by builder.
 - Proposed pool to comply with AS 1926.1-2012.
 - Pool backwash to be connected to sewer.
 - Pool gates with child resistant barrier.
 - Pool gates to open away from pool area.
 - Pool fencing to be non-combustible.
 - Boundary fence (acting as pool barrier) to be min. 1.80m high from the level of pool decking. No footholds on the barrier.

DA CONDITION
8. CONSTRUCTION STANDARDS
CONSTRUCTION OF FENCES, GATES AND ALL THE ABOVE GROUND ELEMENTS OF THE PROPOSED SWIMMING POOL MUST BE UNDERTAKEN USING NON COMBUSTIBLE MATERIALS.

CONDITION REASON: TO ENSURE THAT BUILDINGS ARE DESIGNED AND CONSTRUCTED TO WITHSTAND THE POTENTIAL OF BUSH FIRE ATTACK.

16. SWIMMING POOL WASTE
SWIMMING POOL WASTE AND OVERFLOW WATERS MUST BE COLLECTED AND DIRECTED TO THE SEWER IN ACCORDANCE WITH THE REQUIREMENTS OF SYDNEY WATER. DETAILS MUST BE SUBMITTED WITH THE APPLICATION FOR A CONSTRUCTION CERTIFICATED AND BE APPROVED BY THE CERTIFIER BEFORE THE ISSUE OF THE CONSTRUCTION CERTIFICATE.

CONDITION REASON: TO PROTECT SEWERAGE AND STORMWATER SYSTEMS.

PROPOSED GROUND FLOOR PLAN

1:100

- SMOKE ALARM SYSTEM
- MECHANICAL VENTILATION
- PROPOSED FIRST FLOOR OUTLINE
- FIRE RATED WALL 60/60/60

REV	DATE	DESCRIPTION	BY
B	18.12.2025	ISSUED FOR SECTION 4.55	
A	26.02.2024	ISSUED FOR DA	DK

COPYRIGHT
All rights reserved.
These drawings, plans and specifications and the copyright are the property of Nemco Design and must not be used, reproduced or copied wholly or in part without the written permission of Nemco Design.

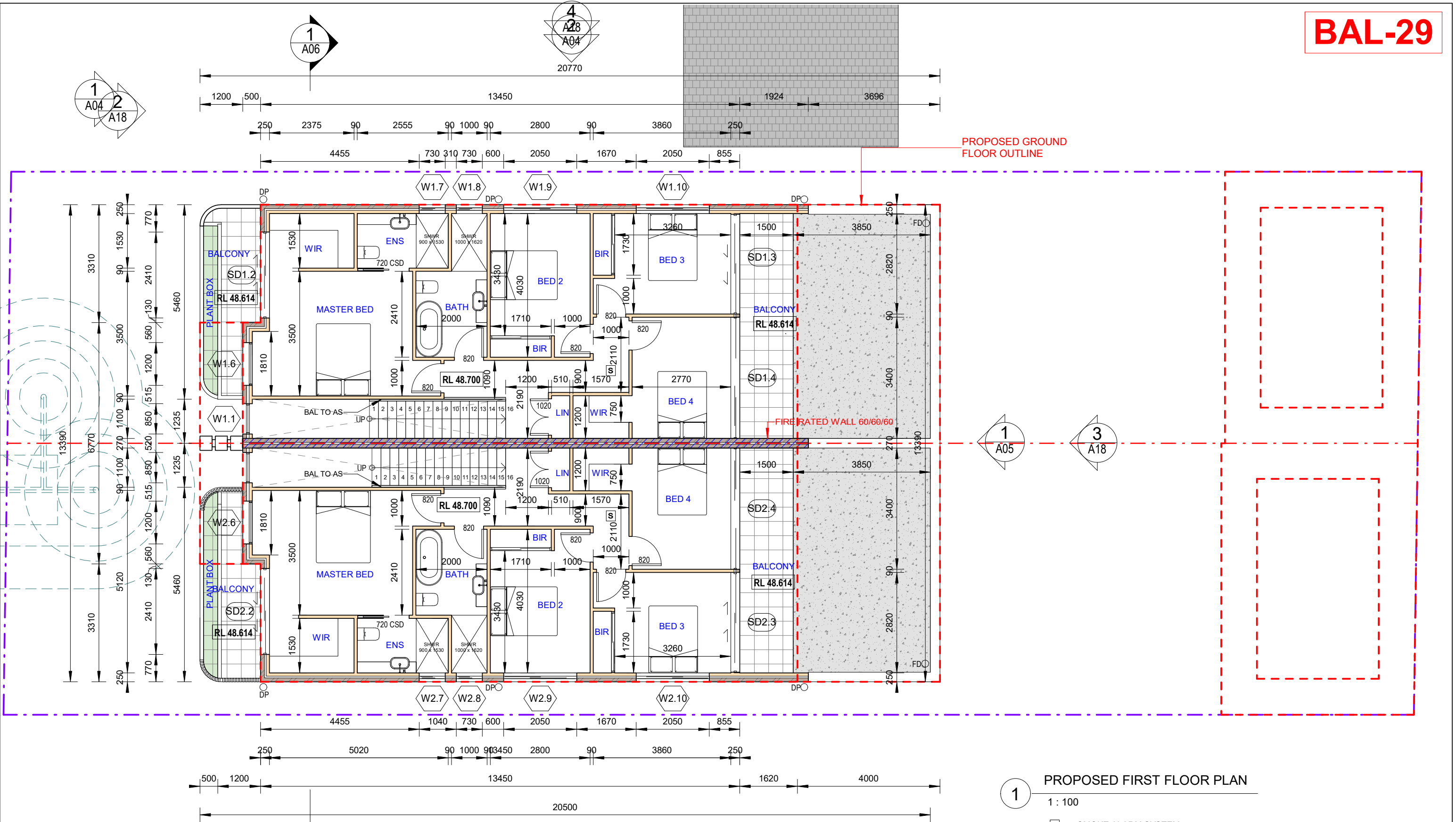
NEMCO DESIGN
PTV LTD
ADDRESS: SUITE 4, LEVEL 1, 402-410 CHAPEL RD, BANKSTOWN, NSW 2200
P: 9709 5555 M: 9422 606 228 E: abraham@nemcodesign.com.au
STRUCTURAL ENGINEERING & ARCHITECTURAL DESIGN

PROPOSED ATTACHED DUAL OCCUPANCY
WITH POOL
5 SEWELL AVE, PADSTOW HEIGHTS
LOT 19, DP 29235

PROPOSED GROUND FLOOR PLAN

JOB NUMBER: 23678	DWG NUMBER: A02	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 07.02.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	

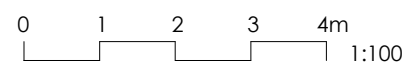




1 PROPOSED FIRST FLOOR PLAN

1 : 100

- [S] SMOKE ALARM SYSTEM
- [MV] MECHANICAL VENTILATION
- PROPOSED GROUND FLOOR OUTLINE
- [Hatched] FIRE RATED WALL 60/60/60



ISSUED FOR S4.55

REV	DATE	DESCRIPTION	BY
B	18.12.2025	ISSUED FOR SECTION 4.55	
A	26.02.2024	ISSUED FOR DA	DK

COPYRIGHT
All rights reserved.
These drawings, plans and specifications and the copyright are the property of Nemco Design and must not be used, reproduced or copied wholly or in part without the written permission of Nemco Design.

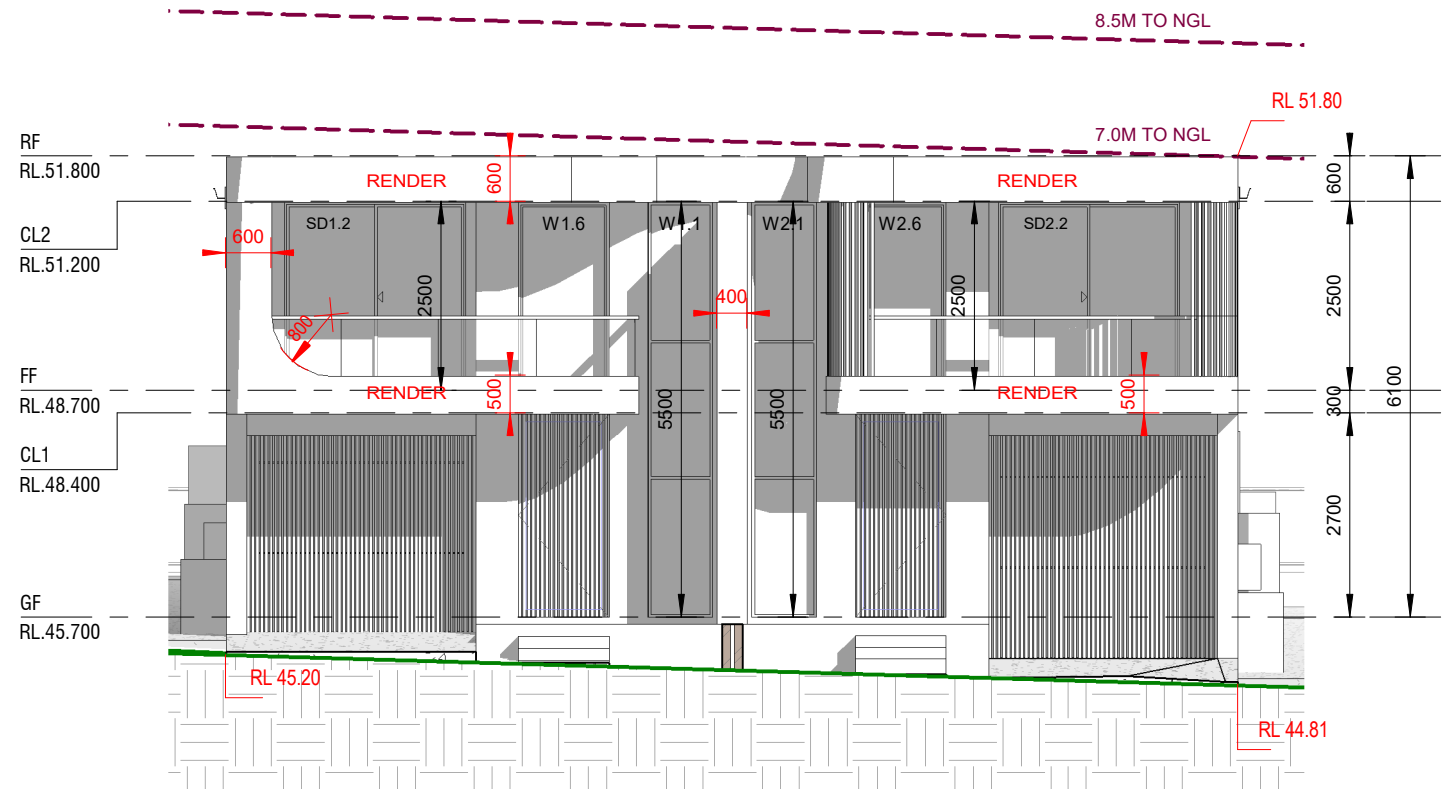
NEMCO DESIGN
PTY LTD
STRUCTURAL ENGINEERING & ARCHITECTURAL DESIGN

ADDRESS:
SUITE 4, LEVEL 1,
402-410 CHAPEL RD, BANKSTOWN,
NSW 2200
P: 9709 5555 M: 0422 606 228
E: abraham@nemcodesign.com.au

**PROPOSED ATTACHED DUAL OCCUPANCY
WITH POOL
5 SEWELL AVE, PADSTOW HEIGHTS
LOT 19, DP 29235**

PROPOSED FIRST FLOOR PLAN

JOB NUMBER: 23678	DWG NUMBER: A03	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 07.02.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	



1 NORTH WEST ELEVATION
1 : 100



2 NORTH EAST ELEVATION
1 : 100

0 1 2 3 4m
1:100
ISSUED FOR S4.55

REV	DATE	DESCRIPTION	BY
B	18.12.2025	ISSUED FOR SECTION 4.55	
A	26.02.2024	ISSUED FOR DA	DK

COPYRIGHT
All rights reserved.
These drawings, plans and specifications
and the copyright are the property of
Nemco Design and must not be used,
reproduced or copied wholly or in part
without the written permission of Nemco
Design.

NEMCO DESIGN
PTY LTD
STRUCTURAL ENGINEERING
& ARCHITECTURAL DESIGN
ADDRESS:
SUITE 4, LEVEL 1,
402-410 CHAPEL RD, BANKSTOWN,
NSW 2200
P: 9709 5555 M: 0422 606 228
E: abraham@nemcodesign.com.au

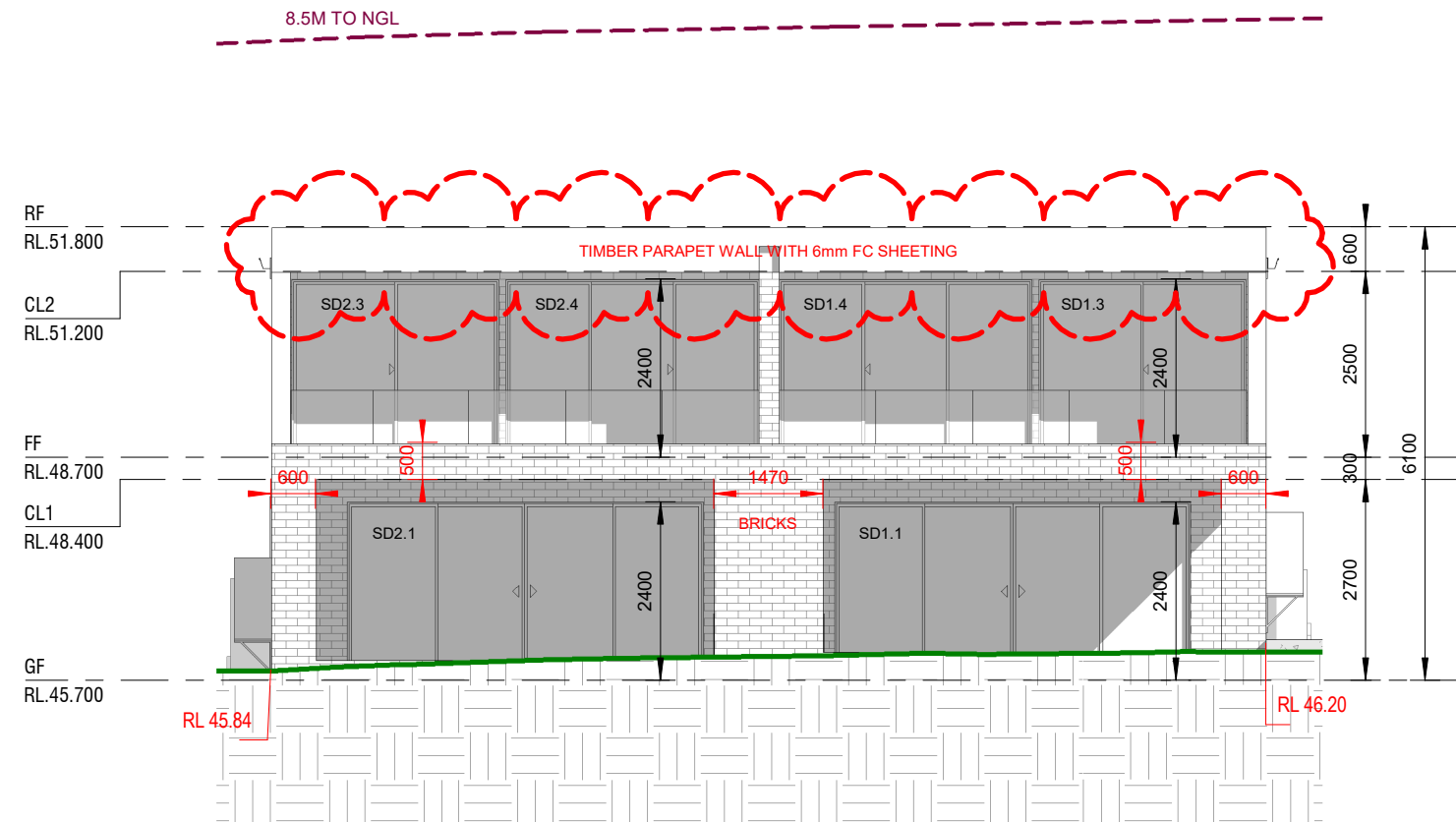
**PROPOSED ATTACHED DUAL OCCUPANCY
WITH POOL
5 SEWELL AVE, PADSTOW HEIGHTS
LOT 19, DP 29235**
ELEVATIONS - PART 1

JOB NUMBER: 23678	DWG NUMBER: A04	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 07.02.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	

DA CONDITION
5. CONSTRUCTION STANDARDS
CONSTRUCTION OF THE ROOF, SOUTH, EAST AND WEST ELEVATIONS
OF THE PROPOSED ATTACHED DUAL OCCUPANCY MUST COMPLY WITH
SECTION 3 AND SECTION 7 (BAL 29) AUSTRALIAN STANDARD
AS3959-2018 CONSTRUCTION OF BUILDINGS IN BUSHFIRE-PRONE
AREAS OR THE RELEVANT REQUIREMENTS OF THE NASH STANDARD-
STEEL FRAMED CONSTRUCTION IN BUSHFIRE AREAS (INCORPORATING
AMENDMENT A - 2015). NEW CONSTRUCTION MUST ALSO COMPLY WITH
THE CONSTRUCTION REQUIREMENTS IN SECTION 7.5 OF PLANNING FOR BUSH FIRE
PROTECTION 2019.

6. CONSTRUCTION STANDARDS
CONSTRUCTION OF THE NORTH ELEVATION OF THE PROPOSED
ATTACHED DUAL OCCUPANCY MUST COMPLY WITH THE SECTION 3 AND
SECTION 6 (BAL 19) AUSTRALIAN STANDARD AS3959-2018
CONSTRUCTION OF BUILDINGS IN BUSHFIRE-PRONE AREAS OF THE
RELEVANT REQUIREMENTS OF THE NASH STANDARD - STEEL FRAMED
CONSTRUCTION IN BUSHFIRE AREAS (INCORPORATING AMENDMENT A -
2015). NEW CONSTRUCTION MUST ALSO COMPLY WITH THE
CONSTRUCTION REQUIREMENTS IN SECTION 7.5 OF PLANNING FOR
BUSH FIRE PROTECTION 2019.

CONDITION REASON: TO ENSURE THAT BUILDINGS ARE DESIGNED AND
CONSTRUCTED TO WITHSTAND THE PPOTENTIAL IMPACTS OF BUSH
FIRE ATTACK.



1 SOUTH EAST ELEVATION
1 : 100



2 SOUTH WEST ELEVATION
1 : 100

0 1 2 3 4m
1:100

ISSUED FOR S4.55

REV	DATE	DESCRIPTION	BY
B	18.12.2025	ISSUED FOR SECTION 4.55	
A	26.02.2024	ISSUED FOR DA	DK

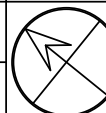
COPYRIGHT
All rights reserved.
These drawings, plans and specifications
and the copyright are the property of
Nemco Design and must not be used,
reproduced or copied wholly or in part
without the written permission of Nemco
Design.

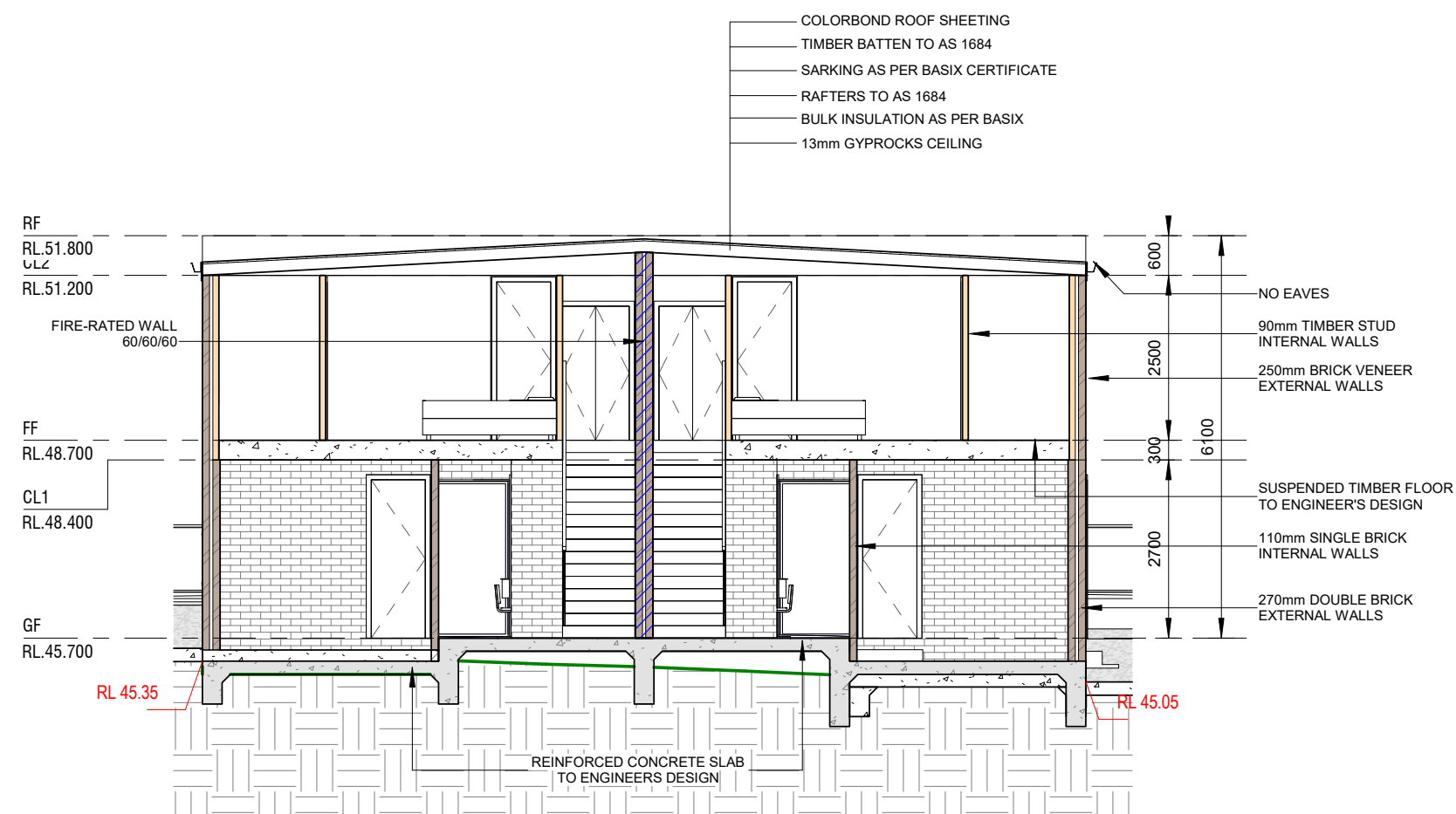
NEMCO DESIGN
PTY LTD
STRUCTURAL ENGINEERING
& ARCHITECTURAL DESIGN

ADDRESS:
SUITE 4, LEVEL 1,
402-410 CHAPEL RD, BANKSTOWN,
NSW 2200
P: 9709 5555 M: 0422 606 228
E: abraham@nemcodesign.com.au

**PROPOSED ATTACHED DUAL OCCUPANCY
WITH POOL**
5 SEWELL AVE, PADSTOW HEIGHTS
LOT 19, DP 29235
ELEVATIONS - PART 2

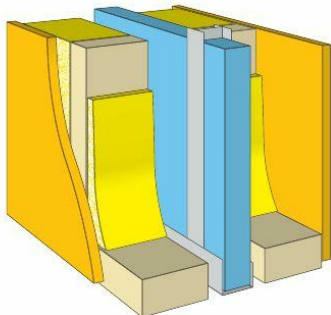
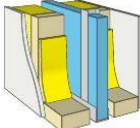
JOB NUMBER: 23678	DWG NUMBER: A05	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 07.02.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	





SECTION 1
1 : 100

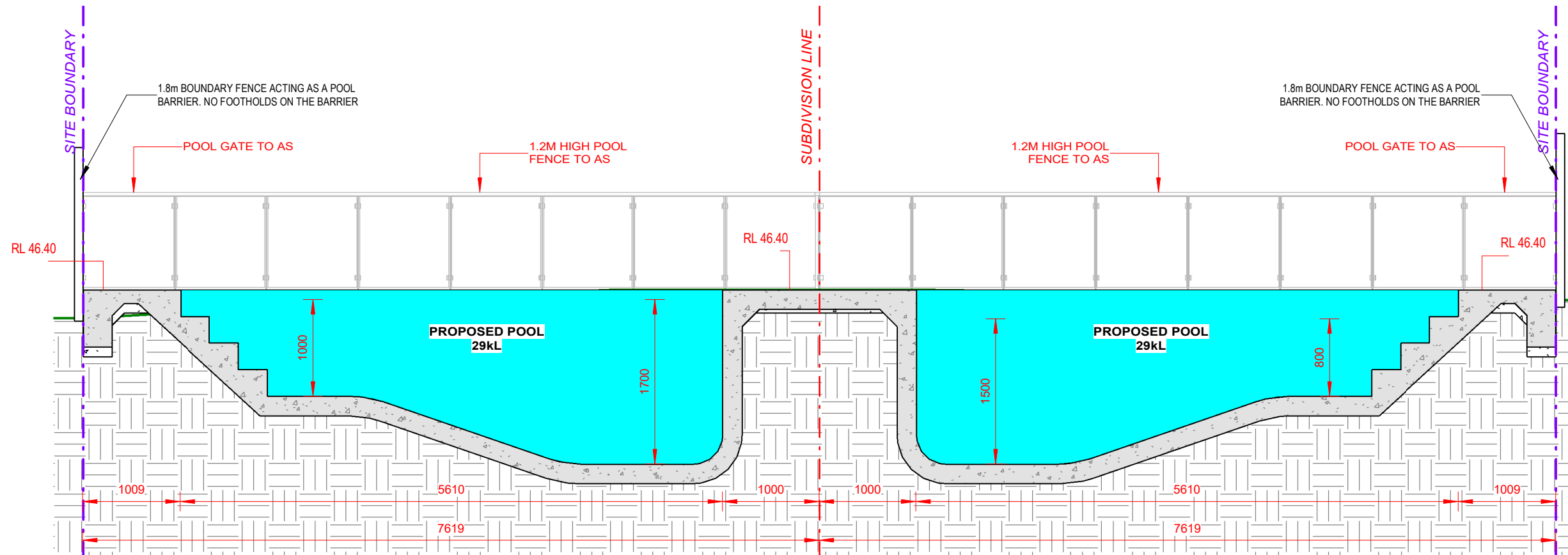
Timber Frame Internal Wall Systems – Party Wall with 25mm Fire Barrier

SYSTEM SPECIFICATION		TYPICAL LAYOUT (CSR 362a shown)		ACOUSTIC OPINION	
• Lining material as per system table. • Timber studs at 600mm maximum centres. • Cavity insulation as per system table. • 20-40mm separation between frame and GYPROCK SHAFT LINER PANEL. • 25mm GYPROCK SHAFT LINER PANEL between steel H-Studs at 600mm maximum centres. • 20-40mm separation between frame and GYPROCK SHAFT LINER PANEL. • Cavity insulation as per system table. • Timber studs at 600mm maximum centres. • Lining material as per system table. NOTES: Refer to GYP513 Gyprock™ Party Wall System for design considerations.				PKA-018 Discontinuous Construction	
FRL Report/Opinion	SYSTEM N°	WALL LININGS	STUD DEPTH mm	70	90
60/60/60 EWFA 45743		<i>BOTH SIDES</i> • 1 x 10mm GYPROCK SUPERCHEK.	CAVITY INFILL Both sides (Refer to Section 'A')	R _w / R _w +C _{tr}	
			(a) 75 Gold Batts™ 2.0	60/47	61/49
			(b) 90 Gold Batts™ 2.7	61/48	62/50
			(c) 88 Soundscreen™ 2.5	61/48	62/50
			WALL THICKNESS mm	225	265

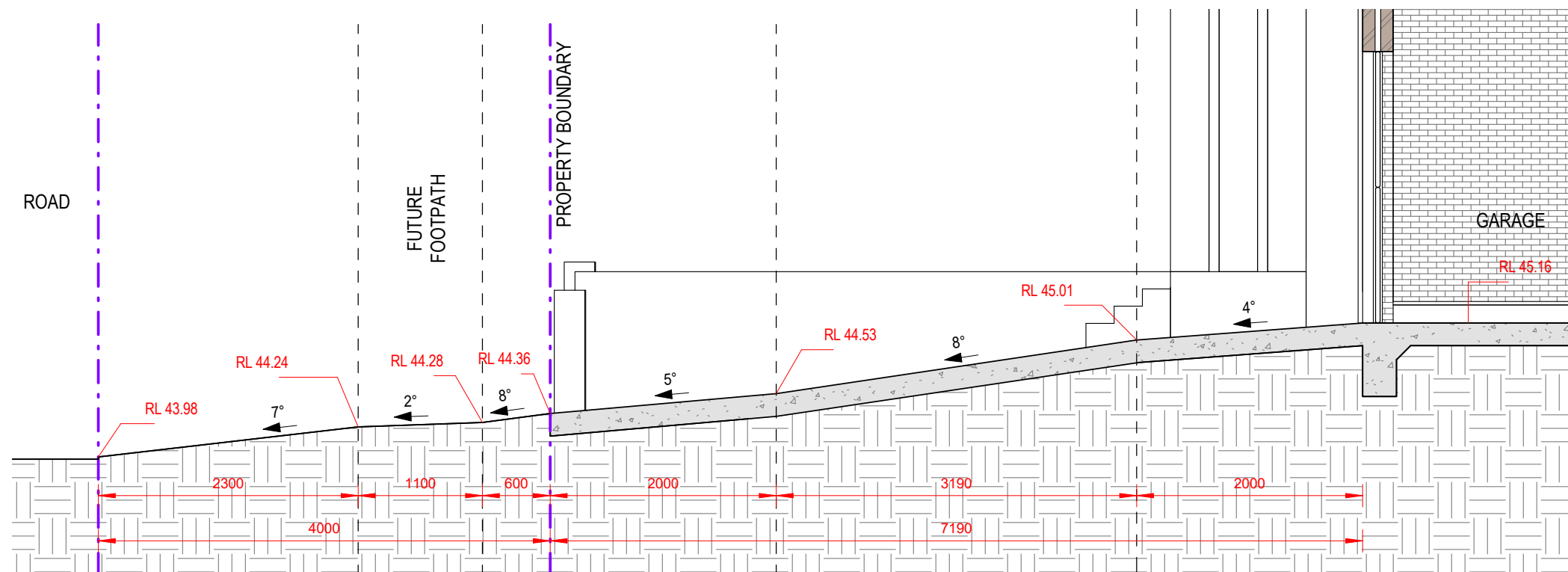
2 FIRE RATED WALL DETAIL

0 1 2 3 4m 1:100
ISSUED FOR S4.55

--	--	--	--



1 POOL SECTION
1 : 50



2 DRIVEWAY SECTION 1
1 : 50

B	18.12.2025	ISSUED FOR SECTION 4.55	
A	26.02.2024	ISSUED FOR DA	DK
REV	DATE	DESCRIPTION	BY

COPYRIGHT
All rights reserved.
These drawings, plans and specifications
and the copyright are the property of
Nemco Design and must not be used,
reproduced or copied wholly or in part
without the written permission of Nemco
Design.



ADDRESS:
SUITE 4, LEVEL 1,
402-410 CHAPEL RD, BANKSTOWN
NSW 2200
P: 9709 5556 M: 0422 606 228
E: abraham@nemcodesign.com.au

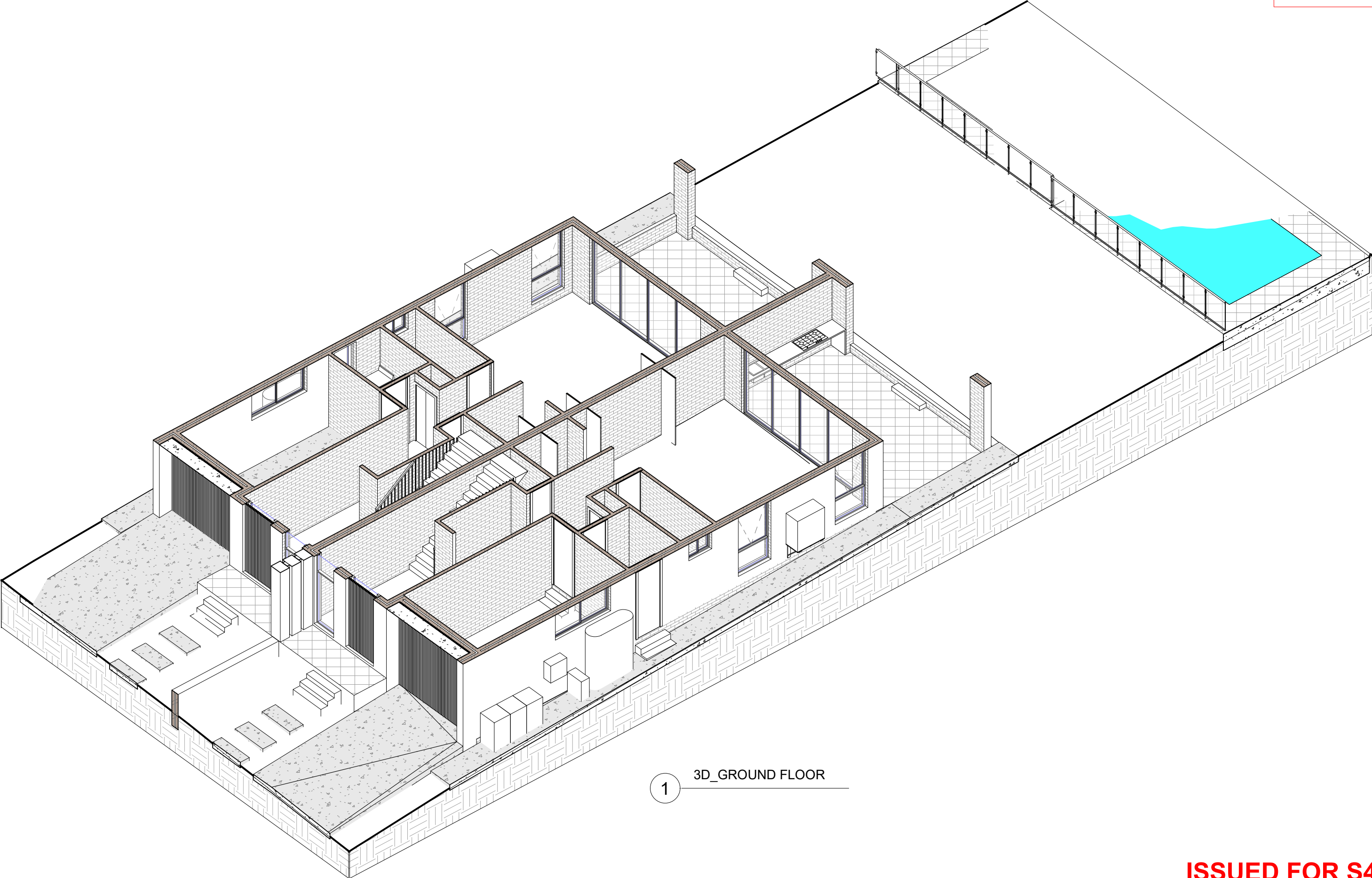
**STRUCTURAL ENGINEERING
& ARCHITECTURAL DESIGN**

**PROPOSED ATTACHED DUAL OCCUPANCY
WITH POOL**
5 SEWELL AVE, PADSTOW HEIGHTS
LOT 19, DP 29235

POOL SECTION

JOB NUMBER: 23678	DWG NUMBER: A07	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 07.02.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	

ISSUED FOR S4.55



1 3D_GROUND FLOOR

ISSUED FOR S4.55

REV	DATE	DESCRIPTION	BY
B	18.12.2025	ISSUED FOR SECTION 4.55	
A	26.02.2024	ISSUED FOR DA	DK

COPYRIGHT
All rights reserved.
These drawings, plans and specifications
and the copyright are the property of
Nemco Design and must not be used,
reproduced or copied wholly or in part
without the written permission of Nemco
Design.



NEMCO DESIGN
PTY LTD

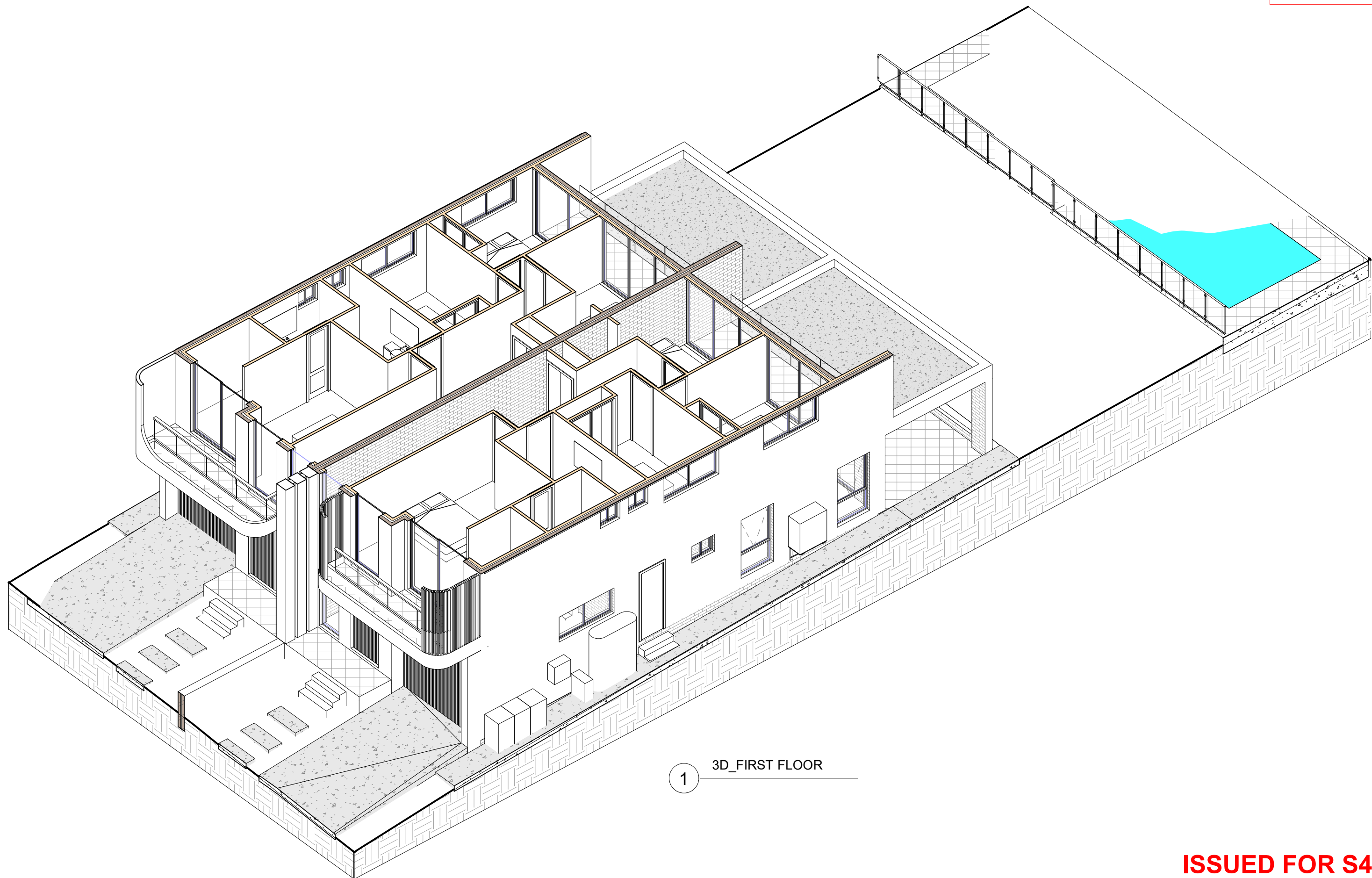
STRUCTURAL ENGINEERING
& ARCHITECTURAL DESIGN

ADDRESS:
SUITE 4, LEVEL 1,
402-410 CHAPEL RD, BANKSTOWN,
NSW 2200
P: 9709 5555 M: 0422 606 228
E: abraham@nemcodesign.com.au

**PROPOSED ATTACHED DUAL OCCUPANCY
WITH POOL
5 SEWELL AVE, PADSTOW HEIGHTS
LOT 19, DP 29235**

3D_GROUND FLOOR

JOB NUMBER: 23678	DWG NUMBER: A08	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 07.02.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	



1 3D_FIRST FLOOR

ISSUED FOR S4.55

REV	DATE	DESCRIPTION	BY
B	18.12.2025	ISSUED FOR SECTION 4.55	
A	26.02.2024	ISSUED FOR DA	DK

COPYRIGHT
All rights reserved.
These drawings, plans and specifications
and the copyright are the property of
Nemco Design and must not be used,
reproduced or copied wholly or in part
without the written permission of Nemco
Design.



STRUCTURAL ENGINEERING
& ARCHITECTURAL DESIGN

ADDRESS:
SUITE 4, LEVEL 1,
402-410 CHAPEL RD, BANKSTOWN,
NSW 2200
P: 9709 5555 M: 0422 606 228
E: abraham@nemcodesign.com.au

**PROPOSED ATTACHED DUAL OCCUPANCY
WITH POOL
5 SEWELL AVE, PADSTOW HEIGHTS
LOT 19, DP 29235**

3D_FIRST FLOOR

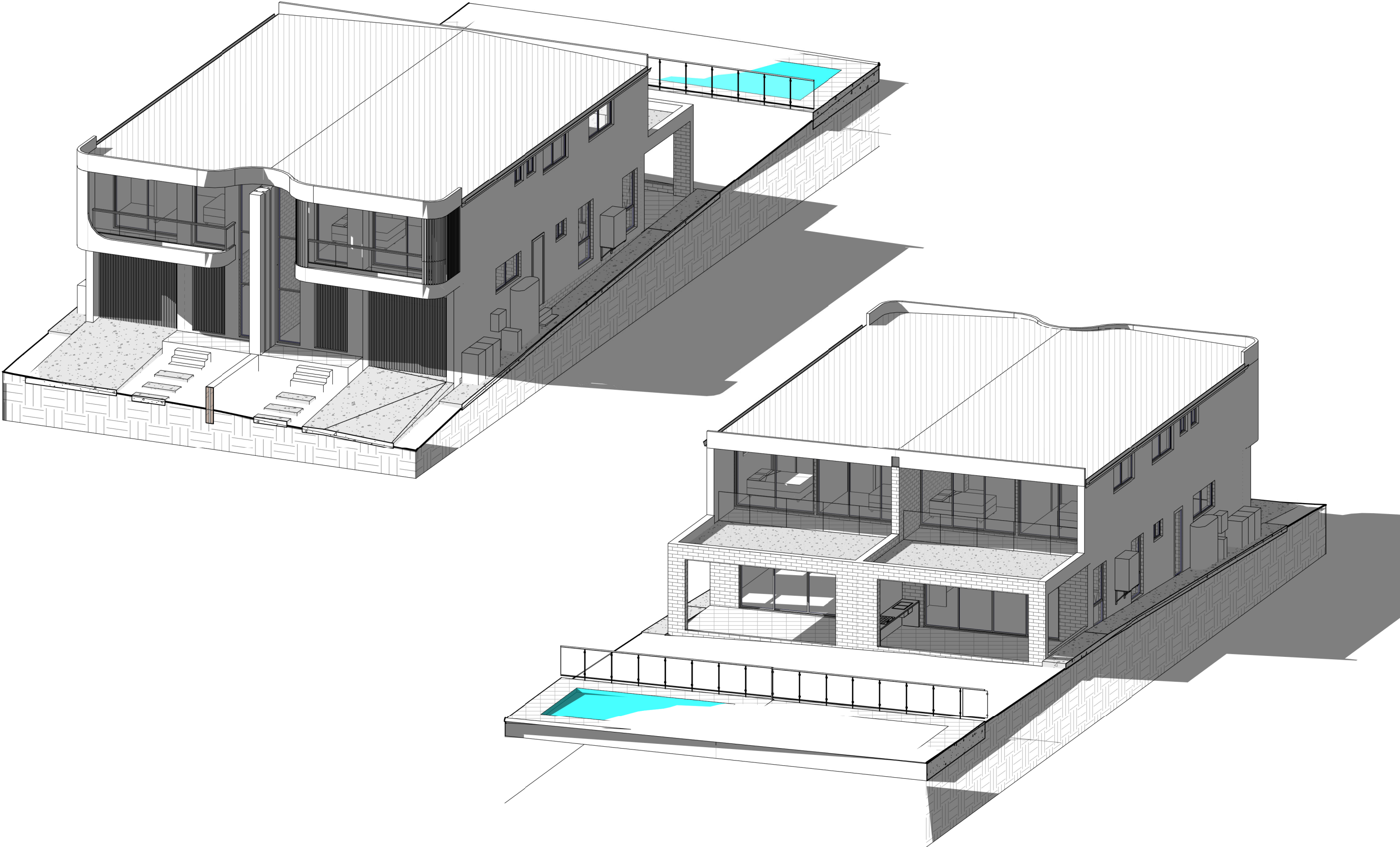
JOB NUMBER: 23678	DWG NUMBER: A09	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 07.02.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	



ISSUED FOR S4.55

				NEMCO DESIGN PTY LTD STRUCTURAL ENGINEERING & ARCHITECTURAL DESIGN ADDRESS: SUITE 4, LEVEL 1, 402-410 CHAPEL RD, BANKSTOWN, NSW 2200 P: 9709 5556 M: 0422 606 228 E: abraham@nemcodesign.com.au	PROPOSED ATTACHED DUAL OCCUPANCY WITH POOL 5 SEWELL AVE, PADSTOW HEIGHTS LOT 19, DP 29235 3D_MODEL	JOB NUMBER: 23678	DWG NUMBER: A10	ORIGINAL SIZE: A3		
						DESIGNED BY: A.N.	DATE: 07.02.2024			
						DRAWN BY: A.N.	SCALE: AS SHOWN			
REV	DATE	DESCRIPTION	BY							

COPYRIGHT
All rights reserved.
These drawings, plans and specifications
and the copyright are the property of
Nemco Design and must not be used,
reproduced or copied wholly or in part
without the written permission of Nemco
Design.



ISSUED FOR S4.55

REV	DATE	DESCRIPTION	BY
B	18.12.2025	ISSUED FOR SECTION 4.55	
A	26.02.2024	ISSUED FOR DA	DK

COPYRIGHT
All rights reserved.
These drawings, plans and specifications
and the copyright are the property of
Nemco Design and must not be used,
reproduced or copied wholly or in part
without the written permission of Nemco
Design.

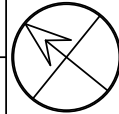
NEMCO DESIGN
PTV LTD
STRUCTURAL ENGINEERING
& ARCHITECTURAL DESIGN

ADDRESS:
SUITE 4, LEVEL 1,
402-410 CHAPEL RD, BANKSTOWN,
NSW 2200
P: 9709 5555 M: 0422 606 228
E: abraham@nemcodesign.com.au

**PROPOSED ATTACHED DUAL OCCUPANCY
WITH POOL**
**5 SEWELL AVE, PADSTOW HEIGHTS
LOT 19, DP 29235**

3D_MODEL

JOB NUMBER: 23678	DWG NUMBER: A11	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 07.02.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	



WINDOWS SCHEDULE - DW1

Mark	Height	Width	Area	Level
------	--------	-------	------	-------

W1.1	5500	850	4.68 m ²	GF
W1.2	900	2050	1.85 m ²	GF
W1.3	600	850	0.51 m ²	GF
W1.4	2100	1210	2.54 m ²	GF
W1.5	2100	1210	2.54 m ²	GF
W1.6	2500	1200	3.00 m ²	FF
W1.7	600	730	0.44 m ²	FF
W1.8	600	730	0.44 m ²	FF
W1.9	900	2050	1.85 m ²	FF
W1.10	900	2050	1.85 m ²	FF

Grand total: 10	19.68 m ²
-----------------	----------------------

WINDOWS SCHEDULE - DW2

Mark	Height	Width	Area	Level
------	--------	-------	------	-------

W2.1	5500	850	4.68 m ²	GF
W2.2	900	2050	1.85 m ²	GF
W2.3	600	850	0.51 m ²	GF
W2.4	2100	1210	2.54 m ²	GF
W2.5	2100	1210	2.54 m ²	GF
W2.6	2500	1200	3.00 m ²	FF
W2.7	600	730	0.44 m ²	FF
W2.8	600	730	0.44 m ²	FF
W2.9	900	2050	1.85 m ²	FF
W2.10	900	2050	1.85 m ²	FF

Grand total: 10	19.68 m ²
-----------------	----------------------

GLASS DOORS SCHEDULE - DW1

Mark	Height	Width	Area	Level
------	--------	-------	------	-------

SD1.1	2400	4800	11.52 m ²	GF
SD1.2	2500	2410	6.03 m ²	FF
SD1.3	2400	2800	6.72 m ²	FF
SD1.4	2400	3400	8.16 m ²	FF

Grand total: 4	32.43 m ²
----------------	----------------------

GLASS DOORS SCHEDULE - DW2

Mark	Height	Width	Area	Level
------	--------	-------	------	-------

SD2.1	2400	4800	11.52 m ²	GF
SD2.2	2500	2410	6.03 m ²	FF
SD2.3	2400	2800	6.72 m ²	FF
SD2.4	2400	3400	8.16 m ²	FF

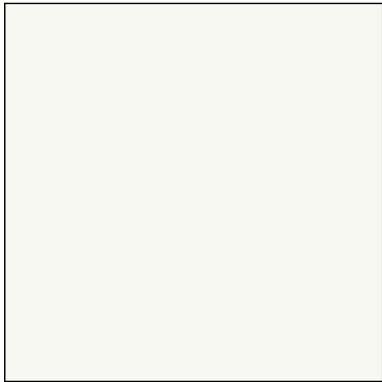
Grand total: 4	32.43 m ²
----------------	----------------------

ISSUED FOR \$4.55

				COPYRIGHT All rights reserved. These drawings, plans and specifications and the copyright are the property of Nemco Design and must not be used, reproduced or copied wholly or in part without the written permission of Nemco Design.  NEMCO DESIGN PTY LTD STRUCTURAL ENGINEERING & ARCHITECTURAL DESIGN	ADDRESS: SUITE 4, LEVEL 1, 402-410 CHAPEL RD, BANKSTOWN, NSW 2200 P: 09 839 5556 M: 0422 666 228 E: abraham@nemcodesign.com.au	PROPOSED ATTACHED DUAL OCCUPANCY WITH POOL 5 SEWELL AVE, PADSTOW HEIGHTS LOT 19, DP 29235			JOB NUMBER: 23678	DWG NUMBER: A12	ORIGINAL SIZE: A3
						DESIGNED BY: A.N.	DATE: 07.02.2024				
B	18.12.2025	ISSUED FOR SECTION 4.55									
A	26.02.2024	ISSUED FOR DA	DK								
REV	DATE	DESCRIPTION	BY			WINDOWS & DOOR SCHEDULE			DRAWN BY: A.N.	SCALE: AS SHOWN	



1 SCHEDULE OF FINISHES



01: WHITE RENDER



02:WOOD FINISH



03: STONE FEATURE



04: ALUMINIUM WINDOWS & DOORS



05: GLASS BALUSTRADE



06: FASCIA & GUTTER



07: COLORBOND ROOF

ISSUED FOR S4.55

REV	DATE	DESCRIPTION	BY
B	18.12.2025	ISSUED FOR SECTION 4.55	
A	26.02.2024	ISSUED FOR DA	DK

COPYRIGHT
All rights reserved.
These drawings, plans and specifications and the copyright are the property of Nemco Design and must not be used, reproduced or copied wholly or in part without the written permission of Nemco Design.

NEMCO DESIGN
PTY LTD
STRUCTURAL ENGINEERING
& ARCHITECTURAL DESIGN

ADDRESS:
SUITE 4, LEVEL 1,
402-410 CHAPEL RD, BANKSTOWN,
NSW 2200
P: 9709 5556 M: 0422 606 228
E: abraham@nemcodesign.com.au

**PROPOSED ATTACHED DUAL OCCUPANCY
WITH POOL
5 SEWELL AVE, PADSTOW HEIGHTS
LOT 19, DP 29235**

SCHEDULE OF FINISHES

JOB NUMBER: 23678	DWG NUMBER: A13	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 07.02.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	

No 3



No 5



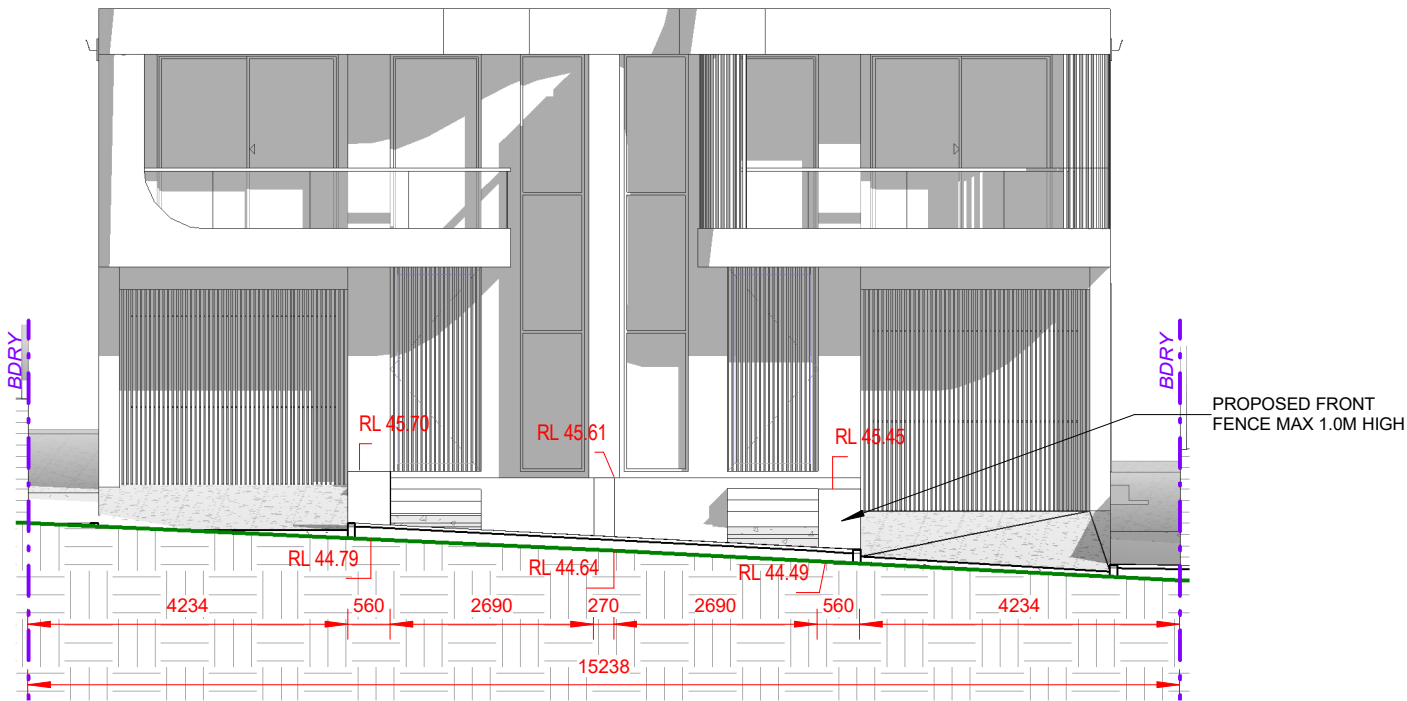
No 7



BAL-29

1 STREETScape VIEW

SEWELL AVE



2 FRONT FENCE ELEVATION
1 : 100

0 1 2 3 4m 1:100
ISSUED FOR S4.55

REV	DATE	DESCRIPTION	BY
B	18.12.2025	ISSUED FOR SECTION 4.55	
A	26.02.2024	ISSUED FOR DA	DK

COPYRIGHT
All rights reserved.
These drawings, plans and specifications
and the copyright are the property of
Nemco Design and must not be used,
reproduced or copied wholly or in part
without the written permission of Nemco
Design.



STRUCTURAL ENGINEERING
& ARCHITECTURAL DESIGN

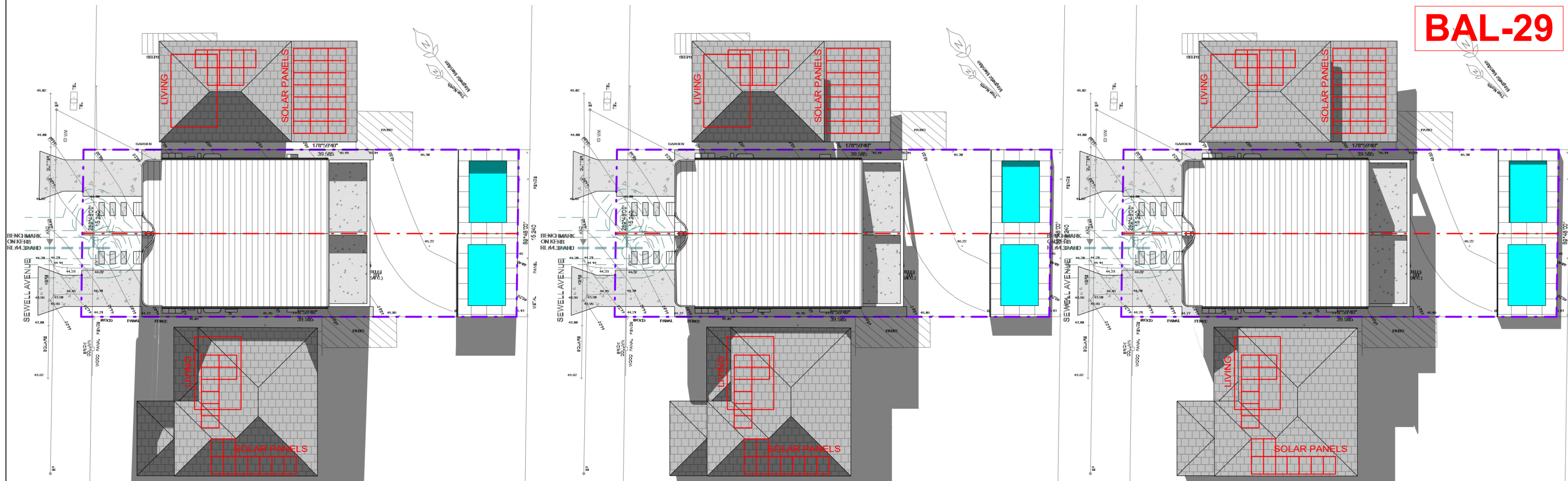
ADDRESS:
SUITE 4, LEVEL 1,
402-410 CHAPEL RD, BANKSTOWN,
NSW 2200
P: 9709 5555 M: 0422 606 228
E: abraham@nemcodesign.com.au

**PROPOSED ATTACHED DUAL OCCUPANCY
WITH POOL
5 SEWELL AVE, PADSTOW HEIGHTS
LOT 19, DP 29235**

**STREETSCAPE VIEW & FRONT FENCE
ELEVATION**

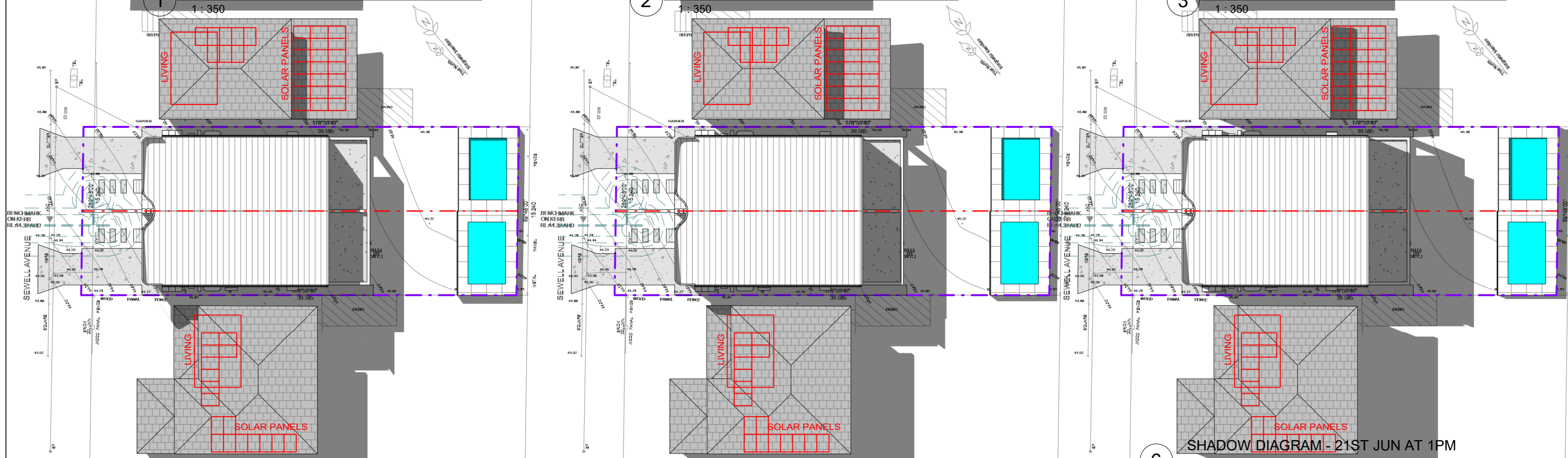
JOB NUMBER: 23678	DWG NUMBER: A14	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 07.02.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	

BAL-29



SHADOW DIAGRAM - 21ST JUN AT 8 AM

1 : 350



SHADOW DIAGRAM - 21ST JUN AT 9 AM

1 : 350

SHADOW DIAGRAM - 21ST JUN AT 10 AM

1 : 350

SHADOW DIAGRAM - 21ST JUN AT 11 AM

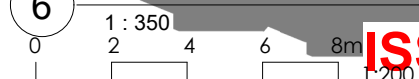
1 : 350

SHADOW DIAGRAM - 21ST JUN AT 12PM

1 : 350

SHADOW DIAGRAM - 21ST JUN AT 1PM

1 : 350



ISSUED FOR \$4.55

B	18.12.2025	ISSUED FOR SECTION 4.55	
A	26.02.2024	ISSUED FOR DA	DR
REV	DATE	DESCRIPTION	BY

COPYRIGHT
All rights reserved.
These drawings, plans and specifications
and the copyright are the property of
Nemco Design and must not be used,
reproduced or copied wholly or in part
without the written permission of Nemco
Design.



**STRUCTURAL ENGINEERING
& ARCHITECTURAL DESIGN**

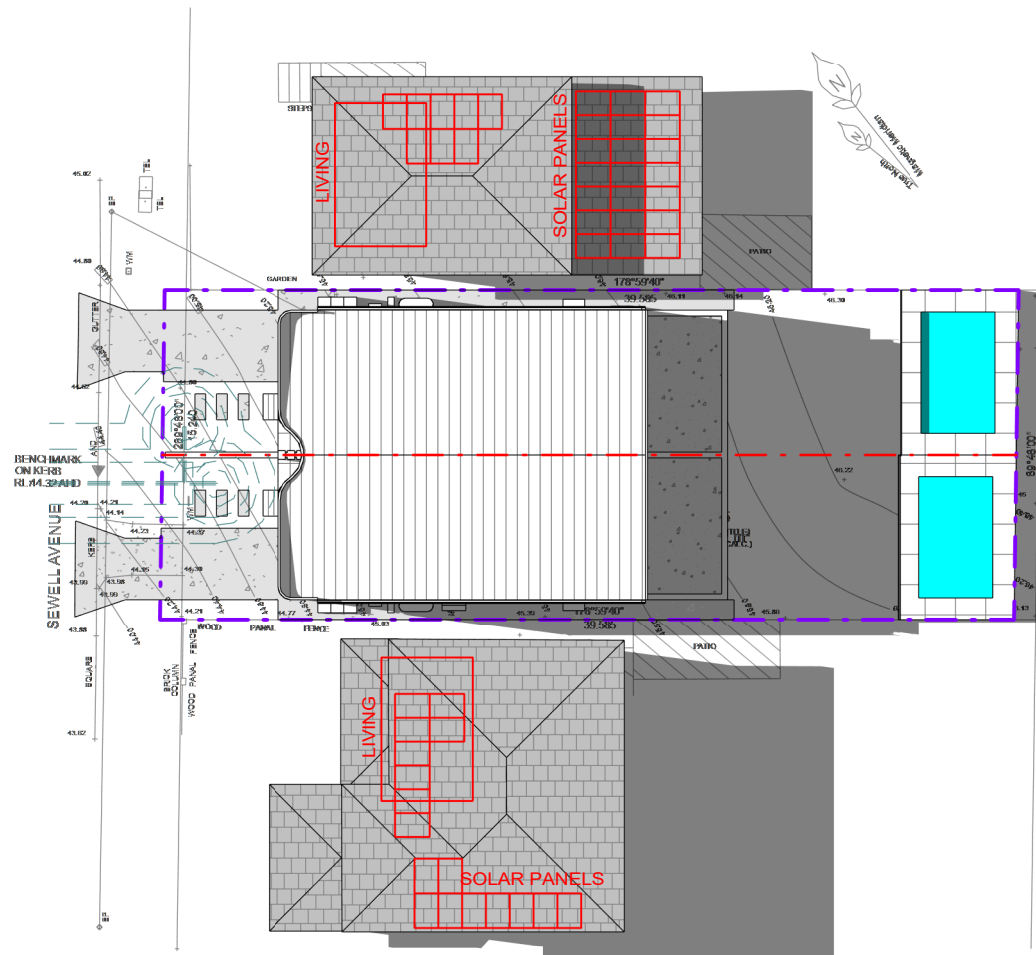
ADDRESS:
SUITE 4, LEVEL 1,
402-410 CHAPEL RD, BANKSTOWN
NSW 2200
P: 9709 5556 M: 0422 606 228
E: abraham@nemcodesign.com.au

**PROPOSED ATTACHED DUAL OCCUPANCY
WITH POOL**
5 SEWELL AVE, PADSTOW HEIGHTS
LOT 19, DP 29235

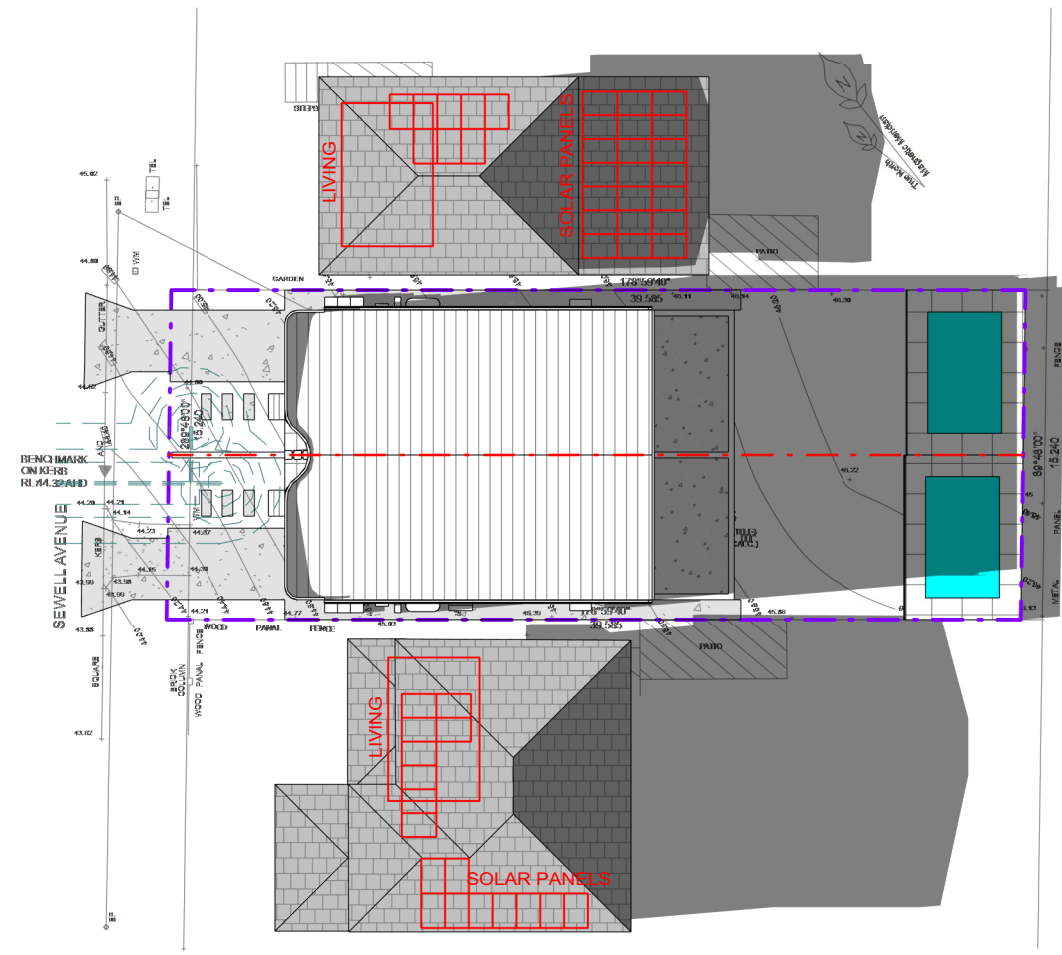
SHADOW DIAGRAM - 21ST JUN

JOB NUMBER: 23678	DWG NUMBER: A15.01	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 07.02.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	

12/01/2026 11:52:51 AM



1 SHADOW DIAGRAM - 21ST JUN AT 2PM
1 : 350



2 SHADOW DIAGRAM - 21ST JUN AT 3PM
1 : 350

ISSUED FOR S4.55

REV	DATE	DESCRIPTION	BY
B	18.12.2025	ISSUED FOR SECTION 4.55	
A	26.02.2024	ISSUED FOR DA	DK

COPYRIGHT
All rights reserved.
These drawings, plans and specifications
and the copyright are the property of
Nemco Design and must not be used,
reproduced or copied wholly or in part
without the written permission of Nemco
Design.

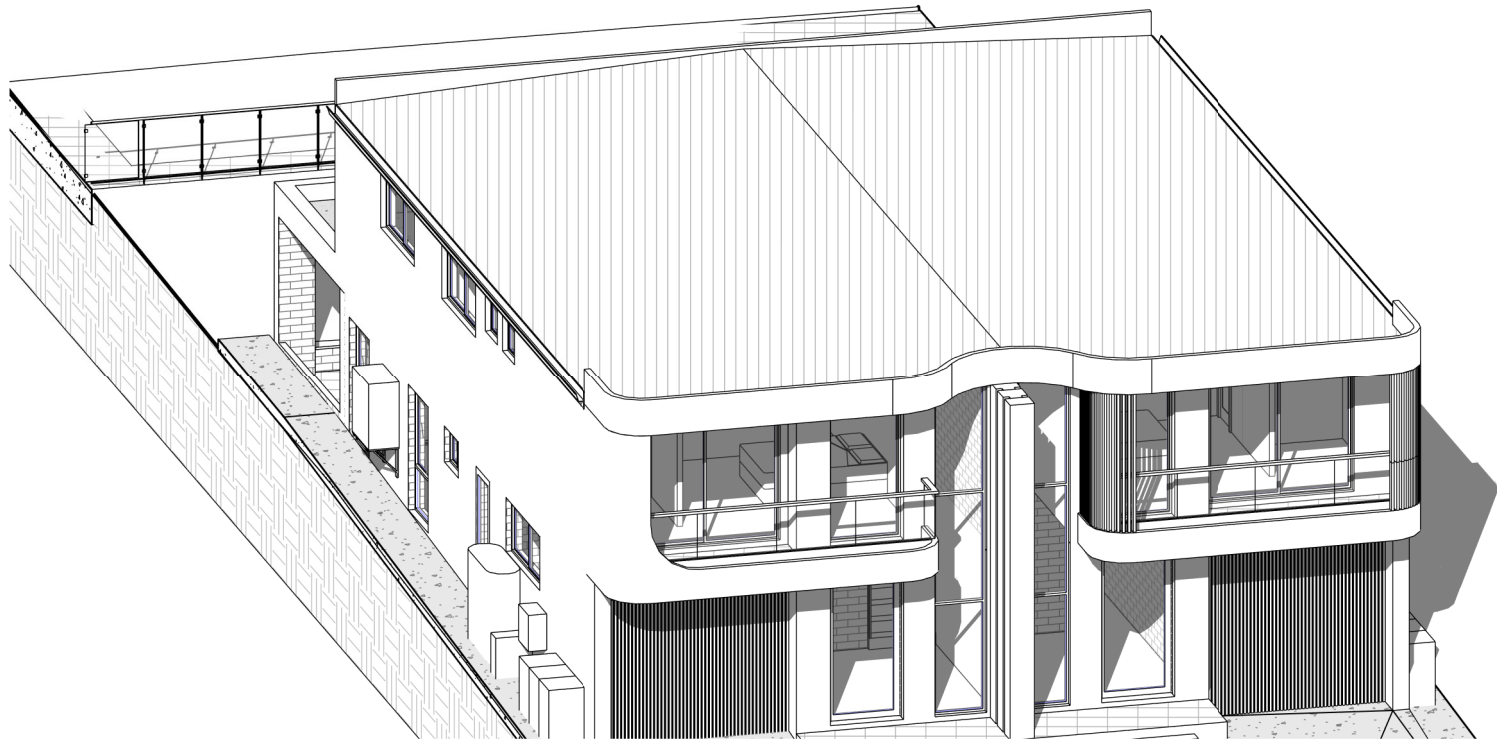
NEMCO DESIGN
PTY LTD
STRUCTURAL ENGINEERING
& ARCHITECTURAL DESIGN

ADDRESS:
SUITE 4, LEVEL 1,
402-410 CHAPEL RD, BANKSTOWN,
NSW 2200
P: 9709 5555 M: 0422 606 228
E: abraham@nemcodesign.com.au

**PROPOSED ATTACHED DUAL OCCUPANCY
WITH POOL
5 SEWELL AVE, PADSTOW HEIGHTS
LOT 19, DP 29235**

SHADOW DIAGRAM - 21ST JUN

JOB NUMBER: 23678	DWG NUMBER: A15.02	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 07.02.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	



1 3 HOURS OF SUNLIGHT TO LIVING - 21ST JUN 1PM



2 3 HOURS OF SUNLIGHT TO LIVING - 21ST JUN 2PM



3 3 HOURS OF SUNLIGHT TO LIVING - 21ST JUN 3PM



4 3 HOURS OF SUNLIGHT TO LIVING - 21ST JUN 4PM

ISSUED FOR S4.55

REV	DATE	DESCRIPTION	BY
B	18.12.2025	ISSUED FOR SECTION 4.55	
A	26.02.2024	ISSUED FOR DA	DK

COPYRIGHT
All rights reserved.
These drawings, plans and specifications
and the copyright are the property of
Nemco Design and must not be used,
reproduced or copied wholly or in part
without the written permission of Nemco
Design.

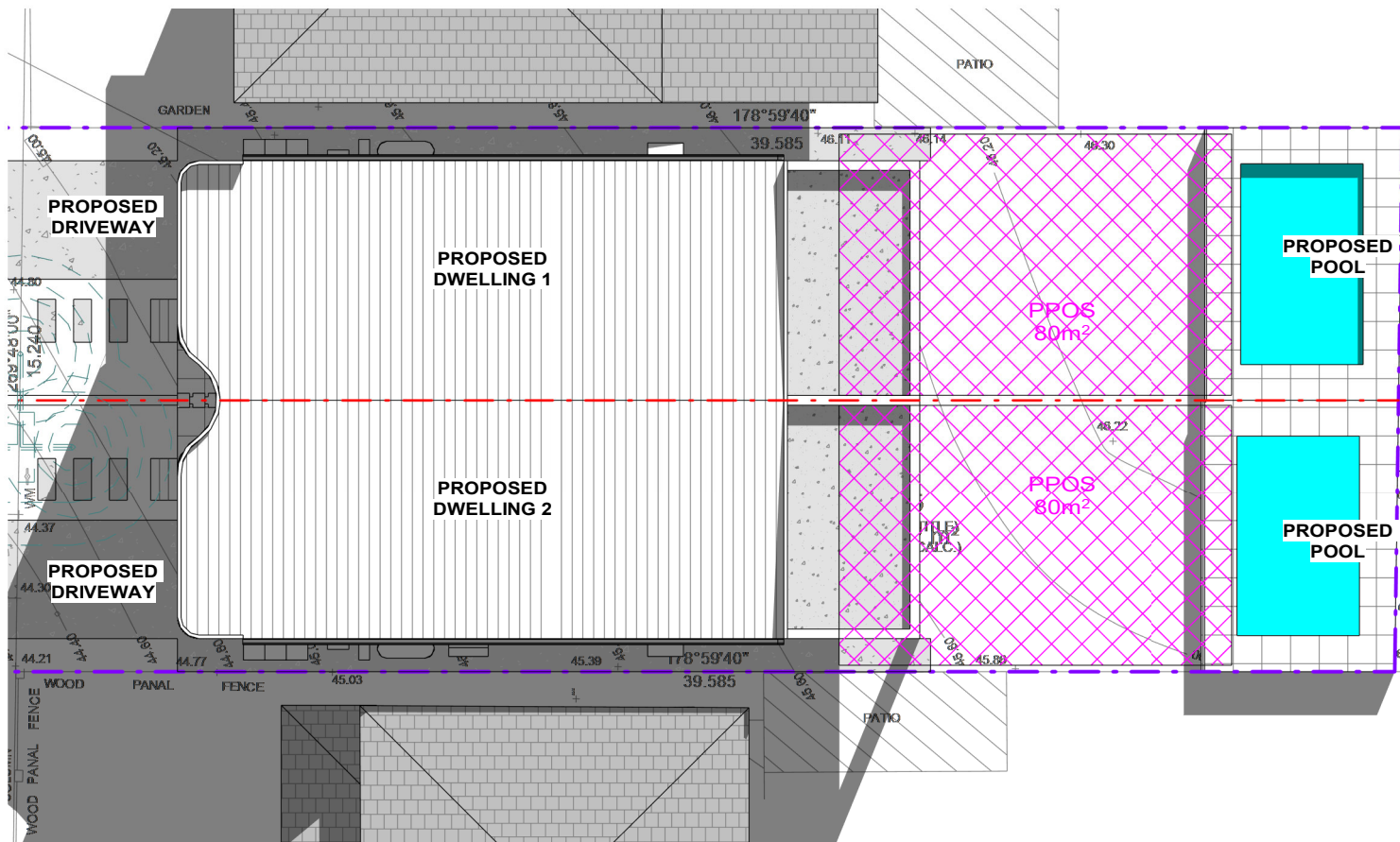
NEMCO DESIGN
PTY LTD
STRUCTURAL ENGINEERING
& ARCHITECTURAL DESIGN

ADDRESS:
SUITE 4, LEVEL 1,
402-410 CHAPEL RD, BANKSTOWN,
NSW 2200
P: 9709 5555 M: 0422 606 228
E: abraham@nemcodesign.com.au

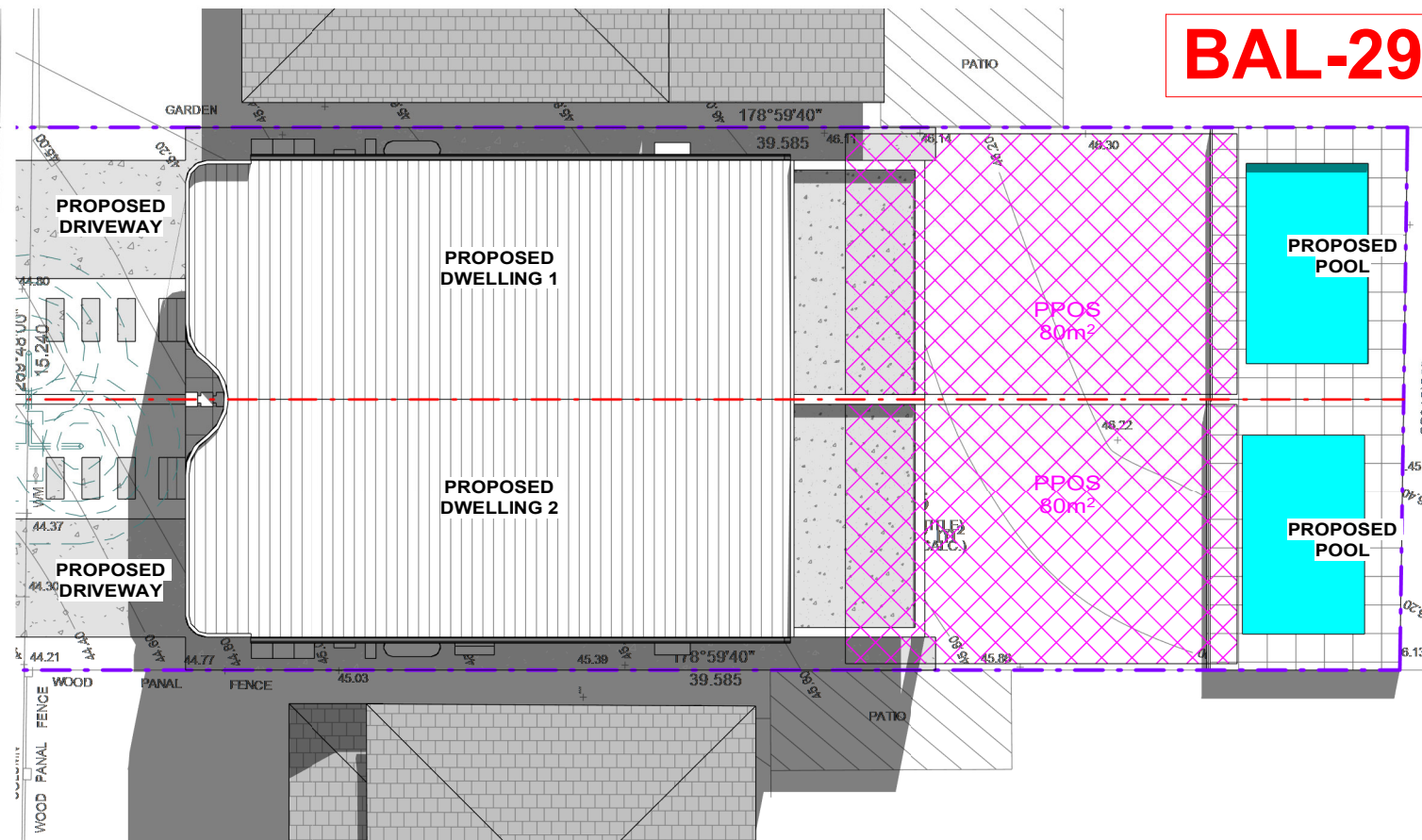
**PROPOSED ATTACHED DUAL OCCUPANCY
WITH POOL
5 SEWELL AVE, PADSTOW HEIGHTS
LOT 19, DP 29235**

**3 HOURS OF SUNLIGHT TO LIVING - 21ST
JUN**

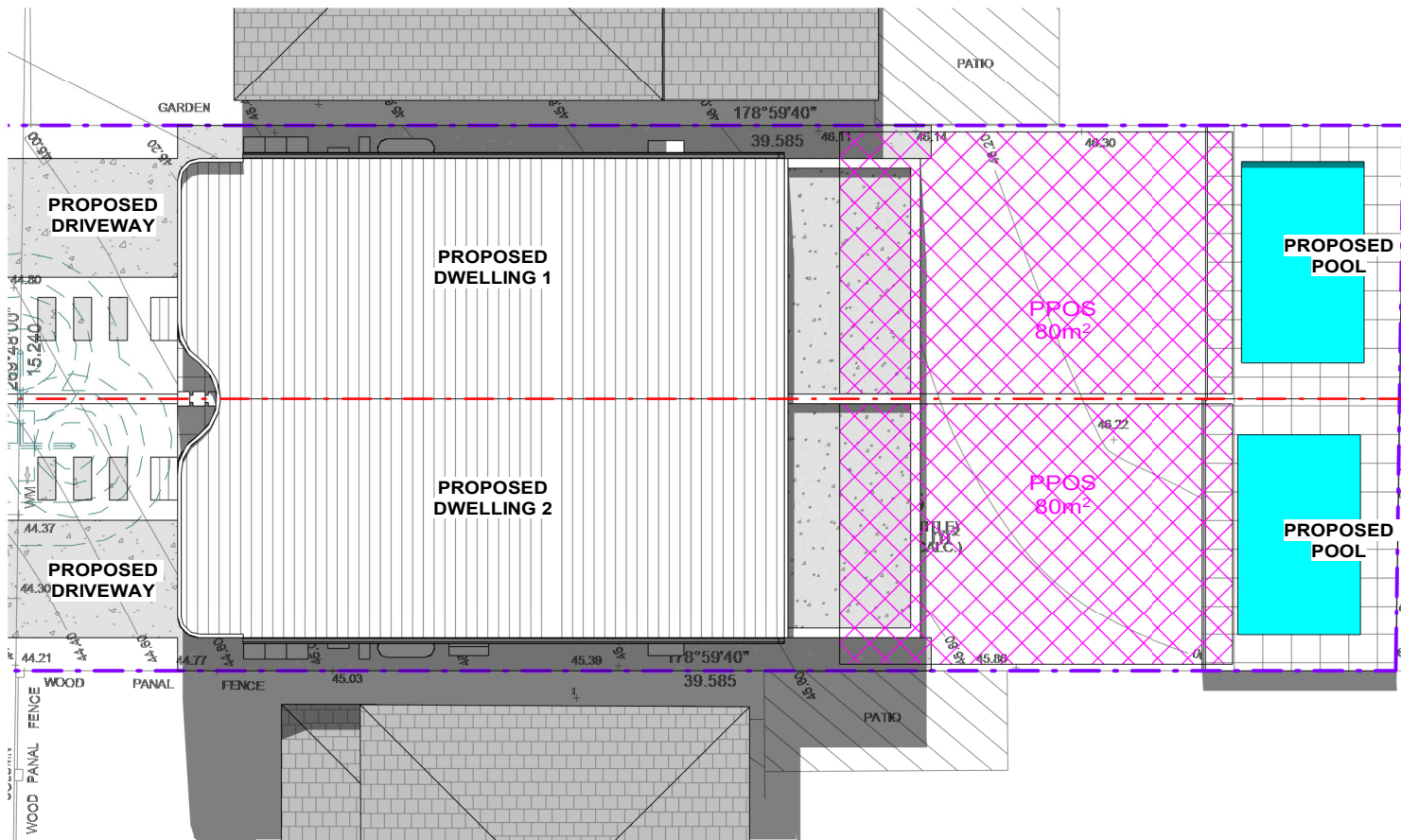
JOB NUMBER: 23678	DWG NUMBER: A15.03	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 07.02.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	



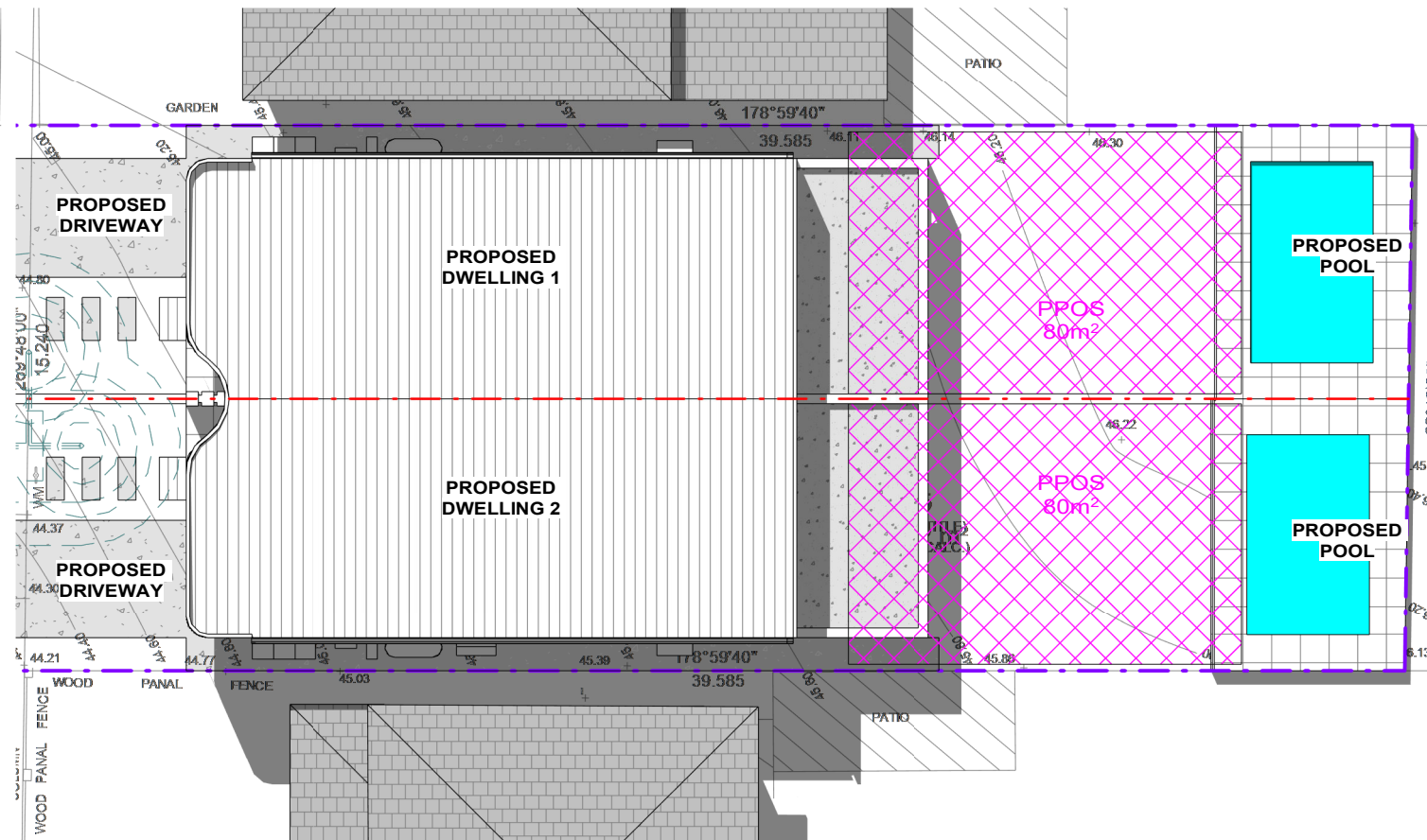
1 3 HOURS OF SUNLIGHT TO 50% POS - 20TH MARCH EQUINOX 8AM
1 : 200



2 3 HOURS OF SUNLIGHT TO 50% POS - 20TH MARCH EQUINOX 9AM
1 : 200



3 3 HOURS OF SUNLIGHT TO 50% POS - 20TH MARCH EQUINOX 10AM
1 : 200



4 3 HOURS OF SUNLIGHT TO 50% POS - 20TH MARCH EQUINOX 11AM
1 : 200

ISSUED FOR S4.55

REV	DATE	DESCRIPTION	BY
B	18.12.2025	ISSUED FOR SECTION 4.55	
A	26.02.2024	ISSUED FOR DA	DK

COPYRIGHT
All rights reserved.
These drawings, plans and specifications
and the copyright are the property of
Nemco Design and must not be used,
reproduced or copied wholly or in part
without the written permission of Nemco
Design.

NEMCO DESIGN
PTY LTD
STRUCTURAL ENGINEERING
& ARCHITECTURAL DESIGN

ADDRESS:
SUITE 4, LEVEL 1,
402-410 CHAPEL RD, BANKSTOWN,
NSW 2200
P: 9709 5555 M: 9422 606 228
E: abraham@nemcodesign.com.au

**PROPOSED ATTACHED DUAL OCCUPANCY
WITH POOL**
**5 SEWELL AVE, PADSTOW HEIGHTS
LOT 19, DP 29235**
**3 HOURS OF SUNLIGHT TO 50% POS -
20TH MAR EQUINOX**

JOB NUMBER: 23678	DWG NUMBER: A15.04	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 07.02.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 26 February 2024
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	DW1_5 Sewell Ave, Padstow Heights	
Street address	5 SEWELL AVENUE PADSTOW HEIGHTS 2211	
Local Government Area	Canterbury-Bankstown Council	
Plan type and plan number	Deposited Plan DP29235	
Lot no.	19	
Section no.	-	
Project type	dwelling house (attached)	
No. of bedrooms	4	
Project score		
Water	✔ 40	Target 40
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 72	Target 72
Materials	✔ -30	Target n/a

Certificate Prepared by	
Name / Company Name: NEMCO DESIGN PTY. LTD.	
ABN (if applicable): 4616616055	

Description of project

Project address		Assessor details and thermal loads		
Project name	DW1_5 Sewell Ave, Padstow Heights	Assessor number	n/a	
Street address	5 SEWELL AVENUE PADSTOW HEIGHTS 2211	Certificate number	n/a	
Local Government Area	Canterbury-Bankstown Council	Climate zone	n/a	
Plan type and plan number	Deposited Plan DP29235	Area adjusted cooling load (MJ/ m²/year)	n/a	
Lot no.	19	Area adjusted heating load (MJ/ m²/year)	n/a	
Section no.	-			
Project type		Project score		
Project type	dwelling house (attached)	Water	✔ 40	Target 40
No. of bedrooms	4	Thermal Performance	✔ Pass	Target Pass
Site details		Energy	✔ 72	Target 72
Site area (m²)	302	Materials	✔ -30	Target n/a
Roof area (m²)	111			
Conditioned floor area (m²)	185.8			
Unconditioned floor area (m²)	64.4			
Total area of garden and lawn (m²)	100			
Roof area of the existing dwelling (m²)	0			

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 Litres plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 1300 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 110.6 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: • all toilets in the development • at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
Swimming Pool			
The swimming pool must not have a volume greater than 29 kilolitres.	✓	✓	

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Do-it-yourself Method			
General features			
The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.		✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.		✓	✓
The dwelling must not contain third level habitable attic room.		✓	✓
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling.	✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✓

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
floor - concrete slab on ground, waffle pool slab.	150	nil/not specified	nil	
floor - above habitable rooms or mezzanine, concrete - suspended, frame: no frame.	100.2	nil/none	nil	
floor - suspended floor above garage, concrete - suspended, frame: laminated veneer lumber (LVL).	17.6	nil/none	nil	

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
garage floor - concrete slab on ground, 30% cement substitute, waffle pool slab.	17.6	none	nil	
external wall: cavity brick; frame: laminated veneer lumber (LVL).	37.1	0.50 (or 1.20 including construction)rockwood batts, roll or pump-in + reflective foil in the cavity	nil	wall colour: Light (solar absorbance < 0.48)
external wall: brick veneer, frame: laminated veneer lumber (LVL).	50.1	2.94 (or 3.50 including construction)rockwood batts, roll or pump-in + reflective foil in the cavity	nil	wall colour: Light (solar absorbance < 0.48)
external garage wall: cavity brick; frame: laminated veneer lumber (LVL).	19.6	rockwood batts, roll or pump-in	nil	
internal wall shared with garage: single skin masonry, frame: laminated veneer lumber (LVL).	24.9	nil/none	nil	
internal wall: single skin masonry; frame: laminated veneer lumber (LVL).	47.8	none	nil	
internal wall: plasterboard; frame: laminated veneer lumber (LVL).	85.9	none	nil	
ceiling and roof - flat ceiling / flat roof, framed - metal roof, laminated veneer lumber (LVL).	110.6	ceiling: 5.7 (up), roof: foil/sarking; ceiling: fibreglass batts or roll; roof: foil/sarking.	nil	roof colour: light (solar absorbance < 0.38), 0.5 to < 1.0% of ceiling area unshaded

Note	• Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code.
Note	• If the additional ceiling insulation listed in the table above is greater than R3.0, refer to the ABCB Housing Provisions (Part 13.2.3 (b)) of the National Construction Code.
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.
Note	• Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCB Housing Provisions of the National Construction Code.

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Ceiling fans			
The applicant must install at least one ceiling fan in at least one daytime habitable space, such as living room.	✓	✓	✓
• The minimum number and diameter of ceiling fans in a daytime habitable space must be installed in accordance with the ABCB Housing Provisions (Part 13.2) of the National Construction Code.	✓	✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazed windows, doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each glazed window and door.	✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓
• The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table.	✓	✓	✓
• Each window and glazed door must have a U-value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓
• Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.	✓	✓	✓
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).	✓	✓	✓

Glazed window/door no.	Orientation	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 19%)	Overshadowing
W1.3	NE	600.00	850.00	aluminium, single glazed (U-value <=6, SHGC: 0.74 - 0.90)	none	not overshadowed
W1.4	NE	2100.00	1210.00	aluminium, single glazed (U-value <=6, SHGC: 0.74 - 0.90)	none	not overshadowed
W1.5	NE	2100.00	1210.00	aluminium, single glazed (U-value <=6, SHGC: 0.74 - 0.90)	none	not overshadowed

Glazed window/door no.	Orientation	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 19%)	Overshadowing
W1.7	NE	600.00	730.00	aluminium, single glazed (U-value <=6, SHGC: 0.74 - 0.90)	none	not overshadowed
W1.8	NE	600.00	730.00	aluminium, single glazed (U-value <=6, SHGC: 0.74 - 0.90)	none	not overshadowed
W1.9	NE	900.00	2050.00	aluminium, single glazed (U-value <=6, SHGC: 0.74 - 0.90)	none	not overshadowed
W1.10	NE	900.00	2050.00	aluminium, single glazed (U-value <=6, SHGC: 0.74 - 0.90)	none	not overshadowed
SD1.1	SE	2400.00	4800.00	aluminium, single glazed (U-value <=6, SHGC: 0.74 - 0.90)	none	not overshadowed
SD1.3	SE	2400.00	2800.00	aluminium, single glazed (U-value <=6, SHGC: 0.74 - 0.90)	none	not overshadowed
SD1.4	SE	2400.00	3400.00	aluminium, single glazed (U-value <=6, SHGC: 0.74 - 0.90)	none	not overshadowed
W1.1	NW	5500.00	850.00	aluminium, single glazed (U-value <=6, SHGC: 0.74 - 0.90)	none	not overshadowed
SD1.2	NW	2400.00	2410.00	aluminium, single glazed (U-value <=6, SHGC: 0.74 - 0.90)	none	not overshadowed
W1.6	NW	2400.00	1200.00	aluminium, single glazed (U-value <=6, SHGC: 0.74 - 0.90)	none	not overshadowed

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 31 to 35 STC or better.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 4.5 Star (old label)		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 4.5 Star (old label)		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 4.5 Star (old label)		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 4.5 Star (old label)		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off Kitchen: individual fan, open to façade; Operation control: manual switch on/off Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Swimming pool			
The development must not incorporate any heating system for the swimming pool.		✓	
The applicant must install the following pump for the swimming pool in the development, or a pump with a higher energy rating: single speed with a performance of 5 stars.		✓	
Alternative energy			
The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
The photovoltaic system must consist of: • photovoltaic collectors with the capacity to generate at least 0.75 peak kilowatts of electricity, installed at an angle between 0 degrees and 10 degrees to the horizontal facing south.	✓	✓	✓
Other			
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

B	18.12.2025	ISSUED FOR SECTION 4.55	
A	26.02.2024	ISSUED FOR DA	DK
REV	DATE	DESCRIPTION	BY

COPYRIGHT
All rights reserved.
These drawings, plans and specifications and the copyright are the property of Nemco Design and must not be used, reproduced or copied wholly or in part without the written permission of Nemco Design.



STRUCTURAL ENGINEERING & ARCHITECTURAL DESIGN

ADDRESS:
SUITE 4, LEVEL 1,
402-410 CHAPEL RD, BANKSTOWN,
NSW 2200
P: 9709 5555 M: 9422 606 228
E: abraham@nemcodesign.com.au

PROPOSED ATTACHED DUAL OCCUPANCY
WITH POOL
5 SEWELL AVE, PADSTOW HEIGHTS
LOT 19, DP 29235

BASIX REQUIREMENTS - DW1

JOB NUMBER: 23678	DWG NUMBER: A17.01	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 07.02.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	

ISSUED FOR \$4.55

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 26 February 2024
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary			
Project name	DW2_5 Sewell Ave, Padstow Heights		
Street address	5 SEWELL Avenue PADSTOW HEIGHTS 2211		
Local Government Area	Canterbury-Bankstown Council		
Plan type and plan number	Deposited Plan DP29235		
Lot no.	19		
Section no.	-		
Project type	dwelling house (attached)		
No. of bedrooms	4		
Project score			
Water	✓ 40		Target 40
Thermal Performance	✓ Pass		Target Pass
Energy	✓ 74		Target 72
Materials	✓ -31		Target n/a

Certificate Prepared by	
Name / Company Name:	NEMCO DESIGN PTY. LTD.
ABN (if applicable):	4616616055

Description of project

Project address		Assessor details and thermal loads	
Project name	DW2_5 Sewell Ave, Padstow Heights	Assessor number	n/a
Street address	5 SEWELL Avenue PADSTOW HEIGHTS 2211	Certificate number	n/a
Local Government Area	Canterbury-Bankstown Council	Climate zone	n/a
Plan type and plan number	Deposited Plan DP29235	Area adjusted cooling load (MJ/ m²/year)	n/a
Lot no.	19	Area adjusted heating load (MJ/ m²/year)	n/a
Section no.	-		
Project type		Project score	
Project type	dwelling house (attached)	Water	✓ 40 Target 40
No. of bedrooms	4	Thermal Performance	✓ Pass Target Pass
		Energy	✓ 74 Target 72
		Materials	✓ -31 Target n/a
Site details			
Site area (m²)	302		
Roof area (m²)	111		
Conditioned floor area (m²)	185.8		
Unconditioned floor area (m²)	84.4		
Total area of garden and lawn (m²)	100		
Roof area of the existing dwelling (m²)	0		

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 1300 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 110.6 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: • all toilets in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
Swimming Pool			
The swimming pool must not have a volume greater than 29 kilolitres.	✓	✓	

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The swimming pool must have a pool cover.		✓	
The swimming pool must be outdoors.	✓	✓	

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Do-it-yourself Method			
General features			
The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling.	✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✓

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
garage floor - concrete slab on ground, 30% cement substitute, waffle pod slab.	150	nil/not specified	nil	
floor - above habitable rooms or mezzanine, concrete - suspended, frame: laminated veneer lumber (LVL).	100.2	nil/none	nil	
floor - suspended floor above garage, concrete - suspended, frame: laminated veneer lumber (LVL).	17.6	nil/none	nil	

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
garage floor - concrete slab on ground, 30% cement substitute, waffle pod slab.	17.6	none	nil	
external wall: cavity brick, frame: laminated veneer lumber (LVL).	37.1	0.50 (or 1.20 including construction)rockwool batts, roll or pump-in + reflective foil in the cavity	nil	wall colour: Light (solar absorbance < 0.48)
external wall: brick veneer, frame: laminated veneer lumber (LVL).	50.1	2.94 (or 3.50 including construction)rockwool batts, roll or pump-in + reflective foil in the cavity	nil	wall colour: Light (solar absorbance < 0.48)
external garage wall: cavity brick, frame: laminated veneer lumber (LVL).	19.8	rockwool batts, roll or pump-in + reflective foil in the cavity	nil	
internal wall shared with garage: plasterboard, frame: laminated veneer lumber (LVL).	24.9	nil/none	nil	
internal wall - single skin masonry, frame: laminated veneer lumber (LVL).	47.8	none	nil	
internal wall: plasterboard, frame: laminated veneer lumber (LVL).	85.9	none	nil	
ceiling and roof - flat ceiling / flat roof, framed - metal roof, laminated veneer lumber (LVL).	110.6	ceiling: 5.7 (up), roof: foil sarking ceiling: fire/glass batts or roll, roof: foil sarking	nil	roof colour: light (solar absorbance < 0.38), 0.5 to 1.0% of ceiling area unobstructed

Note	• Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code.
Note	• If the additional ceiling insulation listed in the table above is greater than R3.0, refer to the ABCB Housing Provisions (Part 13.2.3 (8)) of the National Construction Code.
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.
Note	• Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCB Housing Provisions of the National Construction Code.

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Ceiling fans			
The applicant must install at least one ceiling fan in at least one daytime habitable space, such as living room.	✓	✓	✓
• The minimum number and diameter of ceiling fans in a daytime habitable space must be installed in accordance with the ABCB Housing Provisions (Part 13.5.2) of the National Construction Code.	✓	✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazed windows, doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each glazed window and door.	✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓
• The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table.	✓	✓	✓
• Each window and glazed door must have a U-value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.	✓	✓	✓
• Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.	✓	✓	✓
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).	✓	✓	✓

Glazed window/door no.	Orientation	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
SD2.1	SE	2400.00	4800.00	aluminium, single glazed (U-value: <=6, SHGC: 0.74 - 0.90)	none	not overshadowed
SD2.3	SE	2400.00	2800.00	aluminium, single glazed (U-value: <=6, SHGC: 0.74 - 0.90)	none	not overshadowed
SD2.4	SE	2400.00	3400.00	aluminium, single glazed (U-value: <=6, SHGC: 0.74 - 0.90)	none	not overshadowed

Glazed window/door no.	Orientation	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
W2.3	SW	600.00	850.00	aluminium, single glazed (U-value: <=6, SHGC: 0.74 - 0.90)	none	not overshadowed
W2.4	SW	2100.00	1210.00	aluminium, single glazed (U-value: <=6, SHGC: 0.74 - 0.90)	none	not overshadowed
W2.5	SW	2100.00	1210.00	aluminium, single glazed (U-value: <=6, SHGC: 0.74 - 0.90)	none	not overshadowed
W2.7	SW	600.00	730.00	aluminium, single glazed (U-value: <=6, SHGC: 0.74 - 0.90)	none	not overshadowed
W2.8	SW	600.00	730.00	aluminium, single glazed (U-value: <=6, SHGC: 0.74 - 0.90)	none	not overshadowed
W2.9	SW	900.00	2050.00	aluminium, single glazed (U-value: <=6, SHGC: 0.74 - 0.90)	none	not overshadowed
W2.10	SW	900.00	2050.00	aluminium, single glazed (U-value: <=6, SHGC: 0.74 - 0.90)	none	not overshadowed
W2.1	NW	5500.00	850.00	aluminium, single glazed (U-value: <=6, SHGC: 0.74 - 0.90)	none	not overshadowed
W2.6	NW	2500.00	1200.00	aluminium, single glazed (U-value: <=6, SHGC: 0.74 - 0.90)	none	not overshadowed
SD2.2	NW	2500.00	2410.00	aluminium, single glazed (U-value: <=6, SHGC: 0.74 - 0.90)	none	not overshadowed

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 31 to 35 STCs or better.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted, Energy rating: 4.5 Star (old label)		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted, Energy rating: 4.5 Star (old label)		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted, Energy rating: 4.5 Star (old label)		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted, Energy rating: 4.5 Star (old label)		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to facade or roof. Operation control: manual switch on/off Kitchen: individual fan, open to facade. Operation control: manual switch on/off Laundry: individual fan, ducted to facade or roof. Operation control: manual switch on/off		✓	✓
		✓	✓
		✓	✓
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Swimming pool			
The development must not incorporate any heating system for the swimming pool.		✓	
The applicant must install the following pump for the swimming pool in the development, or a pump with a higher energy rating: single speed with a performance of 5 stars.		✓	
The applicant must install a timer for the swimming pool pump in the development.		✓	
Alternative energy			
The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
The photovoltaic system must consist of: • photovoltaic collectors with the capacity to generate at least 1 peak kilowatts of electricity, installed at an angle between 0 degrees and 10 degrees to the horizontal facing south	✓	✓	✓
Other			
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

B	18.12.2025	ISSUED FOR SECTION 4.55	
A	26.02.2024	ISSUED FOR DA	DK
REV	DATE	DESCRIPTION	BY

COPYRIGHT
All rights reserved.
These drawings, plans and specifications and the copyright are the property of Nemco Design and must not be used, reproduced or copied wholly or in part without the written permission of Nemco Design.



STRUCTURAL ENGINEERING & ARCHITECTURAL DESIGN

ADDRESS:
SUITE 4, LEVEL 1,
402-410 CHAPEL RD, BANKSTOWN,
NSW 2200
P: 9709 5556 M: 9422 606 228
E: abraham@nemcodesign.com.au

PROPOSED ATTACHED DUAL OCCUPANCY
WITH POOL
5 SEWELL AVE, PADSTOW HEIGHTS
LOT 19, DP 29235

BASIX REQUIREMENTS - DW2

JOB NUMBER: 23678	DWG NUMBER: A17.02	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 07.02.2024	
DRAWN BY: A.N.	SCALE: AS SHOWN	

ISSUED FOR S4.55